

CITY OF BATAVIA
100 N. Island Ave., Batavia, IL 60510
(630) 454-2000
www.cityofbatavia.net

**PLAN COMMISSION
AGENDA**

**September 21, 2016
7:00 PM
City Council Chambers - First Floor**

1. Call To Order
2. Roll Call
3. Items Removed/Added/Changed
4. Approval Of Minutes
August 17, 2016, Plan Commission

Documents:

[08-17-16 PCM.PDF](#)

5. Design Review: Electronic Changeable Message Signs For Batavia Fire Stations
Station 1 (East) – 800 East Wilson Street
Station 2 (West) – 1400 Main Street
Batavia Fire Department, Applicant

Documents:

[PC-MEMO-DESIGN REVIEW-091516.PDF](#)

6. Windmill Manor Apartments, 2400 Hawks Drive (Formerly South Drive)
PUBLIC HEARING: Amendments to the Zoning Map for a Planned Development Overlay
 - Final Plat of Subdivision
 - Design ReviewJNP Batavia, LP, applicant

Documents:

[PC WINDMILL MANOR ATTACH.PDF](#)

7. Public Hearing: Amendments To The Official Zoning Map
Amendments to the Official Zoning Map from R0 Single Family Residential to POS Parks & Open Space District for Prairie Path Properties Between Wagner Road/Larkspur Lane and River Street City of Batavia, applicant

Documents:

[PC-PRAIRIEPATH-9152016.PDF](#)

8. Administrative Design Review To Change Retaining Wall Material
Dunkin' Donuts Drive Through, 108 N. Batavia Ave.

Harry Mehta, HM1 Batavia, LLC, applicant

Documents:

[PC BLOCK WALL ADR.PDF](#)

9. Other Business

10. Adjournment

Plan Commission

Tom Gosselin

Sara Harms

Joan Joseph

Tom LaLonde, Chair

Sue Peterson

Gene Schneider, Vice-Chair

MINUTES
August 17, 2016
Plan Commission
City of Batavia

PLEASE NOTE: These minutes are not a word-for-word transcription of the statements made at the meeting, nor intended to be a comprehensive review of all discussions. They are intended to make an official record of the actions taken by the Committee/City Council, and to include some description of discussion points as understood by the minute-taker. They may not reference some of the individual attendee's comments, nor the complete comments if referenced.

1. Meeting Called to Order for the Plan Commission

Chair LaLonde called the meeting to order at 7:00 pm.

2. Roll Call:

Members Present: Chair LaLonde; Vice-Chair Schneider; Commissioners Gosselin, Harms, Joseph, and Peterson

Members Absent:

Also Present: Joel Strassman, Planning and Zoning Officer; Drew Rackow, Planner; and Jennifer Austin-Smith, Recording Secretary

3. Items to be Removed, Added or Changed

There were no items to be removed, added or changed.

4. Approval of Minutes: July 20, 2016, Plan Commission Minutes

Motion: To approve the minutes from July 20, 2016, Plan Commission minutes

Maker: Joseph

Second: Schneider

Voice Vote: 6 Ayes, 0 Nays, 0 Absent

All in favor. Motion carried.

5. Public Hearing: Multiple Family Building at 1600 West Wilson Street, SJR Inc Applicant

- **Comprehensive Plan Land Use Map Amendment from Public Facilities and Institutional to Residential 8 to 15 dwelling**
- **Establishment of a Planned Development Overlay District in a R4 Multiple Family Residential, Medium Density District**
- **Design Review for New Residential Building**

Motion: To open the public hearing

Maker: Schneider

Second: Joseph

Voice Vote: 6 Ayes, 0 Nays, 0 Absent

All in favor. Motion carried.

Rackow reviewed the memo from August 12, 2016 titled "Public Hearing: Multiple Family Building at 1600 West Wilson Street, SJR Inc, Applicant. Comprehensive Land Use Map Amendment from Public Facilities and Institutional to Residential 8 to 15 Dwelling Units Per Acre. Establishment of a Planned Development Overlay District in a R4 Multiple Family Residential, Medium Density District. Design Review for a New Residential Building, SJR, applicant." The proposed project would have 8 two bedroom and 4 one bedroom units. Each unit would have a one car garage and one parking place in a driveway. Driveways would need to be modified to permit full access to the driveway and parking stall for each unit.

Arney Silvestri, Silvestri Custom Homes, 234 Planters Row, Geneva, representing SJR Inc., addressed the Commission. He explained that the design takes advantage of the street frontages by orienting the building to two streets. Chair LaLonde asked for an overview of the materials he plans on using for the building. Silvestri described the building materials to the Commission as well as passed around a color sample of the architectural design shingle. The roofing would be weathered wood color. The siding color would be natural clay with white trim and white vinyl windows with grids. He passed around the natural clay color sample. The balconies would be wolmanized wood with black metal spindles.

Joseph expressed her concern about the parking. She stated that oftentimes the garages are used for storage. Silvestri stated that they have 9x10 storage areas designed in the building as well as the single car garages are longer than standard. LaLonde stated that he shares the same concern with parking that staff brought up. Silvestri stated that he is willing to work with staff to ensure that everyone gets what they need.

Chair LaLonde opened the floor for public comment and swore in all those who were going to speak.

Thomas Wilson, 56 Spuhler Dr. stated that the whole block is all four units and the developer wants to put in a twelve unit building. He asked where are they going to put the snow from plowing. He stated there are going to be more than 24 cars there. People will block the other garage doors.

Craig Crawford 15 Feece Dr. shared that he lives directly across the street from the unit. He stated that he has a number of concerns. He is concerned that the building will house "transient" residents. This is transient population is near our high school. Batavia has history of crime problems with apartment complexes. Parking is a concern. The number of small garages in the same vicinity could be hazardous. If one person stored something improperly and there was a fire this would be a large problem. He asked if any traffic studies have been done, especially on Randall. The number of accidents in this neighborhood is quite large for a fairly small neighborhood. He asked the City to upgrade the traffic light timing on Randall and Main and Randall and Wilson. There are people trying to make those lights because they back up so badly and would like to know if there are accident statistics. Spuhler and Feece have speeders, especially during the school year. As a resident that worries him. There is a lot of litter on Wilson and there is no investment in living in the City by transient residents. He is concerned with creating a noise issue in the neighborhood. If you move that many people it almost has to increase the noise. He would like to keep the sense of the neighborhood and noted that Batavia

does not have a great history of civic planning. We have a closed border city. Why would we want to increase the density? That is clearly a curiosity of planning. Mid-day traffic in downtown Batavia is a nightmare and especially when school is in session. This would exasperate that. The whole street is four flats and why would we want a larger building is beyond him. Snow removal is also a concern. The City does not do snow removal on adjacent lots. He asked would this property have snow removal. The additional users on the street would increase the difficulty navigating Independence. Between the speeding and the potential for crime, this development is something we should be concerned about. He asked if a feasibility study has been done and if so, distribute it, and if not it should be done. He needs to know more than just the information shared at tonight's meeting. He has concerns that the building would not match the neighborhood. He would request that everyone in that neighborhood be mailed with a transcript of this hearing and have a chance to respond. A plat of the property should also be distributed and have another hearing to have a decision as a community. He would not want this in the area where his kids stand and wait to catch the bus.

Diane Anderson 16 Spuhler Dr. stated she lives directly across the lot being referred to this evening. She is worried about the value of her house. She stated that the market is rebounding and now her home value would go down again. The traffic is now bad and would be even worse with this development.

Mark Larson 6 Spuhler Dr. stated he lives directly across the street from the proposed development. Property value is the number one issue. It would not help the property value to have a building like that in that on the property. Apartment buildings would not help the property values in the neighborhood. Additional parking would be needed. On-street parking is only available on the resident side of the street. When the football team is doing well the streets are all full. He asked what is the potential rental of these units. If it is a year-to-year lease it might help. He asked if this goes through how long it would take for construction. When he has visitors going to his house for the holidays, where he pays property taxes, would they have to fight for a parking spot.

Randy Castor 26 Spuhler Dr. stated he is adjacent and south of the proposed building. This land has been vacant since 2007. He was hoping that it would be built similar to what the Martin's built on the block. This building is too big for the lot. The setback requirements would have to be changed to fit a car in the front. He asked the developer if he could have built a 4 to 6 unit building on this land.

Commissioner Schneider commented that this building is very large for the area. He asked if the applicant has a plan b for this development.

Kate McCracken, 1001 East Main Street, St. Charles. representing the applicant, stated that this property was declared surplus from the City. Bids were accepted and taken and SJR was the successful bidder. If the City were willing to reduce the purchase price as part of the bid there would be a corresponding reduction in the building's size. This is a unique site since there are three frontages and the property is bounded by commercial and office. Typically in a land planning context, that is the type of property that is appropriate for a buffer type of development. These are intended to be long-term leases. The longer the rental period the better it is for

ownership. Year to year or longer is always the number one objective for any community. This is not a series of apartment buildings. There would be six units on one frontage and six units on the other to keep it consistent with the adjacent usages. SJR would be willing to consider a reduction in the density with a corresponding reduction in the bid that was accepted by the City. McCracken stated that, for the record, they have agreed with all of staff's recommendations for the adjustments and conditions.

Chair LaLonde asked for discussion from the Commission. Schneider stated that he does not think this building would fit and he would not like to live across from it. Joseph agreed that it is too big a building for this area. Snow and parking could be an issue. She would like to see the density reduced. Peterson agreed. She stated that the design is wonderful for that neighborhood. She thinks that we made too many considerations for this plan. This type of building is in a residential area of 4 unit buildings and here it would be 12. Strassman stated that this property, zoned R4, would allow up to nine dwelling units whether it is in one building or a combination of buildings. Peterson stated that we are giving a lot of latitude with the setbacks to conform to the Comprehensive Plan. Gosselin stated that a smaller building would pose fewer problems and could better with the R4. LaLonde concurs that it is too much building for this size of property. He could understand some leniency of setbacks. He suggested a smaller building with parking on Independence so that the frontage would better fit with the neighborhood on Spuhler.

Silvestri stated that R4 is nine units and we are asking for twelve. The higher density is to offset the costs for labor and materials. If you do more density you could make the things work. It was all about cost. When you add up the fees and load them into the price of the property the City was asking for and the cost of the building that is where we came up with this building. This is a matter of making the numbers work. He is not opposed for a nine unit or an eight unit building.

Schneider asked them to go back and talk to the City staff to make that decision. Schneider stated that this public hearing should be continued to get discussion going with staff.

Silvestri stated that we might need some setback relief to add parking to one side or slide the building and easements due to the electrical box. He may come back with nine or eight units.

Strassman asked the Commission if they would be willing to consider any density above what the R4 District allows and/or any relief to building bulk requirements. The Commission generally agreed that greater density is not preferred, but they may consider relief to bulk requirements. LaLonde stated that he would certainly consider that. LaLonde asked when the developer would like to reconvene the public hearing. Silvestri requested sixty days. Strassman asked Silvestri to change the date on the notice signs for the next public hearing date of October 19, 2016.

Motion: To continue this public hearing to October 19, 2016

Maker: Joseph

Second: Harms

Roll Call Vote: **Aye:** LaLonde, Schneider, Gosselin, Harms, Joseph, Peterson

Nay:

6-0 Vote, 0 Absent, All in Favor. Motion carried.

**6. Public Hearing: Zoning Map Amendment for Sections of the Illinois Prairie Path, Kane County Forest Preserve, Owner, City of Batavia, Applicant
Open and Continue to September 21, 2016**

Strassman reported that there was insufficient notice and staff is requesting the Commission continue this public hearing to complete the notice.

Motion: To open and continue the public hearing to September 21, 2016
Maker: Joseph
Second: Schneider
Voice Vote: 6 Ayes, 0 Nays, 0 Absent
All in favor. Motion carried.

7. Other Business

Strassman reported staff received an application for an age-restricted and income-restricted housing development on Hawks Drive west of Walmart. This is proposed to be an 81 unit with one live-in manager on the property. This building was contemplated when the property was annexed in 2011. The public hearing could potentially be scheduled for September 21st.

Strassman reported that the former Aldi store at Main St. and Randall Rd. is proposed to become a body shop. This would require rezoning of the property. There is a possibility of changing the zoning on the adjacent property to allow for the development of symbiotic businesses.

Schneider asked if anything was going forward with the old Avenue Chevy. Strassman answered that nothing has been submitted.

Joseph asked if there was any interest in the Golden Corral. Strassman stated that the City has received no applications for that property.

Strassman reported that the City is progressing with Shodeen for the 1 North Washington project. Dunkin Donuts is progressing through the permit process.

Harms asked about the proposed Blue Goose grocery store. Strassman stated that he has no further information.

8. Adjournment

There being no other business to discuss, Chair LaLonde asked for a motion to adjourn the Plan Commission. Peterson moved to adjourn the meeting, Schneider seconded. The meeting was adjourned at 8:21pm.

Minutes respectfully submitted by Jennifer Austin-Smith

CITY OF BATAVIA

DATE: September 16, 2016
TO: Plan Commission
FROM: Drew Rackow AICP, Planner
SUBJECT: Design Review: Electronic Changeable Message Sign for Batavia Fire Stations
Station 1 (East) – 800 East Wilson Street
Station 2 (West) – 1400 Main Street
Batavia Fire Department, Applicant

Background and Information Supplied by the Applicant

The Batavia Fire Department is seeking to alter their existing changeable message signs at both the East and West Side Fire Stations. The modifications would remove the existing sign cabinet from the limestone sign bases facing Wilson Street and Main Street. The proposed signs include new color LED (light emitting diode) electronic changeable messages. The proposed signs have the capability to show full color images and text.

Changeable and Electronic Changeable message signs require Design Review under the Zoning Code. Changeable messages are allowed to comprise up to 50% of the overall sign area. Section 4.407.B.2.g of the Zoning Code prohibits animation, fades and dissolves, and scrolling on these signs. The Batavia Fire Department would use the sign to relay fire prevention and safety messages. The signs could also be used for City sponsored events or other general information. Both Fire Stations are zoned PFI, Public Facilities and Institutional.

Properties adjacent to the West Side Fire Station are zoned PFI, Public Facilities and Institutional to the North, South and East. The undeveloped Mooseheart property to the west is zoned R1-H Single Family Residential-High Density. Main Street is identified as an arterial roadway in the Comprehensive Plan. The existing sign location was included with the Planned Development approval granted by Ordinance 06-20 in 2006 for construction of the fire station.

Properties adjacent to the East Side Fire Station are zoned R1-H Single Family Residential-High Density and SB, Service Business to the north, R1-L Single Family Residential Low Density to the east, south and southwest and R1-M Single Family Residential Medium Density to the west. Wilson Street is identified as an arterial roadway in the Comprehensive Plan. The existing sign location was included with the Planned Development approval granted by Ordinance 06-19 in 2006 for construction of the fire station.

Analysis

The proposed signs are 32 square feet each. Characters and logos would be illuminated on an opaque background. The electronic message area is 13.34 square feet (2' x 6.67'), complying with the Zoning Code requirements for an Electronic Changeable Message Sign. The Zoning Code allows this type of sign in the Public Facilities and Institutional District, subject to Design Review. There are no specific restrictions on such monument signs (such as light intensity or distance requirements) when abutting residentially zoned properties. Staff believes with adequate restrictions, these signs will be compatible with the adjoining uses. The Lincoln Inn and Immanuel Lutheran Church are similarly situated to

residential uses and were granted changeable message sign in 2007 and 2014. There is no history of complaints at these locations.

Hours of Operation: The Plan Commission can impose restrictions on hours of operation on the proposed signs. Due to the presence of residential homes within the adjoining area, staff recommends that hours of operation be specified for the LED message. Staff recommends that the Commission consider hours of operation of 7:00 AM to 9:00 PM. The Fire Department has not specified hours, but has indicated it will comply with requirements imposed now or in the future. A provision to allow emergency messaging, authorized by the Fire Chief, outside these hours could be considered by the Commission.

Brightness/Intensity: Sign specifications note the ability to automatically adjust brightness based on ambient lighting conditions. Staff recommends the use of this function as a condition of approval. At this time the City does not have overall brightness limitations for signs; staff is including a recommendation that this and other operational restrictions be subject to any future adoption of more stringent requirements.

Message Interval: Consistent with the most recent recommendation for an Electronic Changeable Message Sign for the Immanuel Lutheran Church, staff recommends establishing a minimum change interval of one minute at both locations. Staff also recommends that the interval be subject to any future time limitations imposed by future revisions to the Zoning Code.

Landscaping: Significant landscaping was included with the Fire Station redevelopments in 2006. Existing landscape meets current Zoning Code requirements at the East Side Station. Similarly the West Side Station meets shrub requirements for a ground sign. However, there is no ornamental tree near this sign as required in the Zoning Code. Staff has included a condition of approval to include one ornamental tree. This could be planted south of the existing grouping of shrubs, or another proximate location that meets the Fire Department's operational requirements.

Findings for Approval:

- A. The project is consistent with applicable design guidelines:** The proposed improvements would be consistent with the Standard Design Review Criteria for Commercial & Institutional Projects.
- B. The project conforms to the Comprehensive Plan, and specifically to the Land Use, Urban Design, and Environment Elements:** Proposed improvements would conform to sign based Goals and Policies within the Urban Design Element, and would not be contrary to other elements. Conditions to limit appearance of change and rate of movement will specifically advance Goal 7 and Policy e.
- C. The project is consistent with all applicable provisions of the Zoning Code:** The proposed projects are consistent with the applicable provisions of the Zoning Code, as conditioned.
- D. The project is compatible with adjacent and nearby development:** Sign improvements, as conditioned, will allow for the signs to exist in a manner compatible with nearby uses and the adjacent arterial roadway.
- E. The project design provides for safe and efficient provision of public services:** The proposed change will allow for the conveyance of messaging in a more time sensitive and expedient manner, allowing for the safe and efficient and provision of public services.

Staff Recommendation

Staff recommends that the Plan Commission review these proposals for consistency with the Findings of Fact for Design Review. Staff recommends the Plan Commission adopt the Findings for Approval in the affirmative, as presented and approve this design review request for an Electronic Changeable Message Signs at both Fire Stations subject to:

1. The sign shall be automatically programmed to not display illuminated changeable messages between 9:00 PM and 7:00 AM, except to relay emergency messages.
2. Messages shall change no faster than once per minute.
3. The sign shall use an auto-dimming functionality responsive to ambient light.
4. An Ornamental tree shall be added to the site near the west side fire station sign, consistent with current Zoning Code landscape requirements.
5. The sign shall fully comply with any future standards imposed on such signs citywide that are stricter than those included with this Design Review: including, but not limited to hours of illumination, message change time intervals and overall brightness.
6. That the sign shall otherwise be in full compliance with all provisions to the Zoning Code for Electronic Changeable Message Signs

Attachment: Design Review Submittal

C: Mayor and City Council
Randy Deicke, Fire Chief
Ed Jancauskas, Deputy Fire Chief
Media



8'



72" on center Baseplates
Standard

4' 4'

Tekstar Capabilities

18.9"

CAPABLE OF DISPLAYING
1 TO 3 ROWS
5.5" TO 18.9" CHARACTERS

For Full Capabilities go to stewartsigns.com

TekStar Color
20mm 24x112
CABINET SIZE: 3'x8'
External Baseplate

Header Vinyl: Photoreal	Paint Color: Black	Approved as shown
Text Color: Photoreal	Draft: White	Date _____
Cowling Text Vinyl: N/A		Approved with listed changes
		Date _____

GRAPHICS DISCLAIMER: This custom artwork is not intended to provide an exact match between ink, vinyl, paint, or LED color. Brickwork, masonry and landscaping is not included in the proposal. Measurements shown are approximations; dimensions of final product may vary. LED images shown are simulated to replicate optimum viewing distance. Sign is designed to be illuminated at all times. Sketches are based off of this premise.



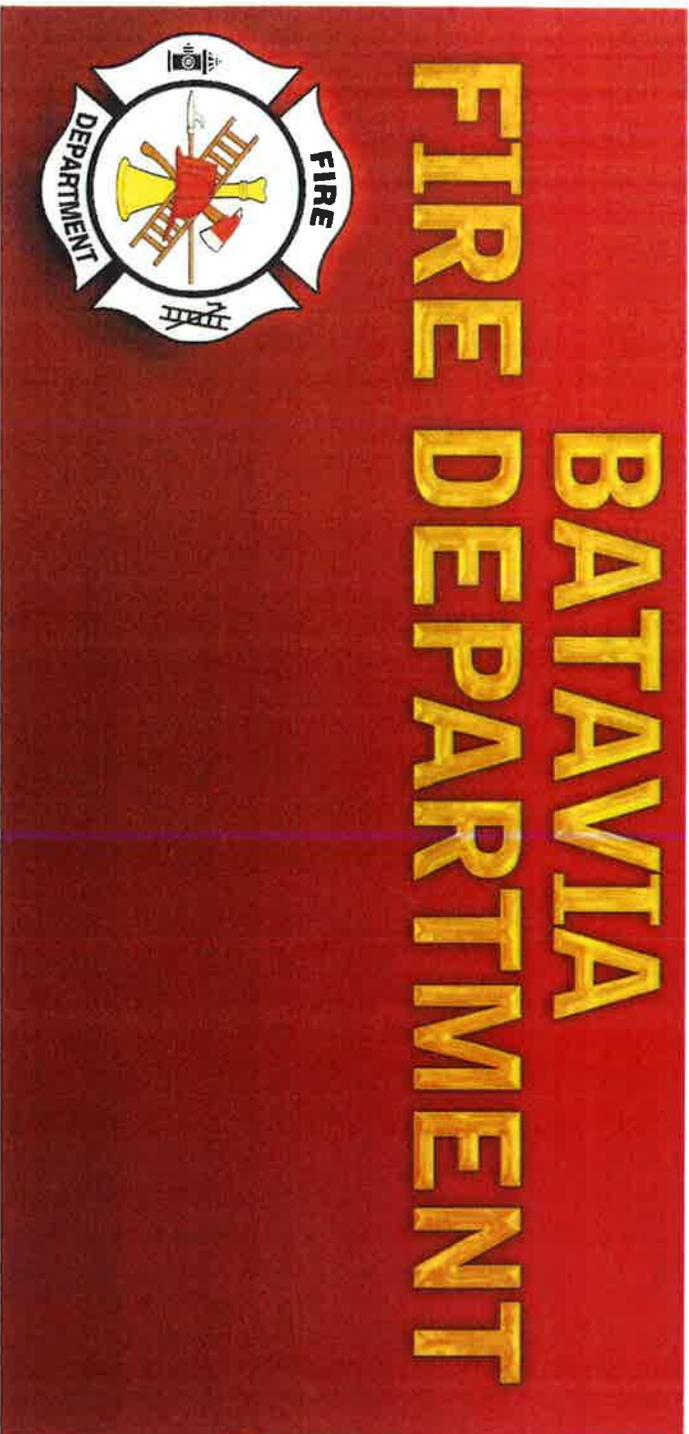
stewart signs
America's Premier Sign Company

5/8"=1'
SK: 794077-7a-s
Cust: 3037291
8/19/2016
F/Hyde
SOLD

ORIGINAL DESIGN DO NOT DUPLICATE

PH: 1-800-237-3928 - FAX 1-800-485-4280





H6PRR794077-7a-s

Photo real face

Flat surface dimensions: 55.75" x 91.875"

With bleed: 56.25" x 92.375"

Header Vinyl: Photoreal	Paint Color: Black
Text Color: Photoreal	Draft: White
Cowling Text Vinyl: N/A	
<p>GRAPHICS DISCLAIMER: This custom artwork is not intended to provide an exact match between ink, vinyl, paint, or LED color. Brickwork, masonry and landscaping is not included in the proposal. Measurements shown are approximations, dimensions of final product may vary. LED images shown are simulated to replicate optimum viewing distance. Sign is designed to be illuminated at all times. Sketches are based off of this premise.</p>	
Approved as shown	Date _____
Approved with listed changes	Date _____
	Date _____

	5/8"=1'
	Sk: 794077-7a-s
	Cust: 3037291
	8/19/2016
	F/1Hyde
	SOLD
<p>ORIGINAL DESIGN DO NOT DUPLICATE</p>	
<p>PH. 1-800-237-3928 - FAX 1-800-485-4280</p>	





Batavia Fire Department
 800 E Wilson St
 Batavia, IL 60510

Consultant:
 Jane Hyde, x174
 jhyde@stewartsigns.com
 Direct Fax: (888) 328-4524
 Customer ID: 3037291
 Quote #: 794077 / 7
 Quoted: 8/23/2016

Attn: Richard Rubo
 638-879-1404

DESCRIPTION

4x 8' Double Sided TekStar with 24x80 Full Color LED Display. Thermoformed Makrolon SL Faces Decorated on Inside Surface with 3M Vinyl Graphics. 12" Deep Extruded Aluminum Hinged Cabinet.

Face / Cabinet Details

Internal TekStar Cabinet with Complete LED Display Assembly, 20mm 24x80 Color

Header Area Decorated with Internal Photo-Real Graphics

Electrical Information

Vertical Lamp Illumination with Electronic Ballast(s)
 R2-S4-2 Dusk To Dawn Light Sensor #3000 Flush Mount Photocell

One 20 Amp Circuit, 120 Volts; Max Draw: 12.3 Amps
 LED Communication Method: Short-range Wireless; connectivity requires line-of-sight between sign antenna and wireless device antenna mounted on building by customer. Maximum distance of 1,500 feet* between antennas.

DayStar Controller and DayStar Media Software Included

Structural Details

Mount Style: Baseplate
 Leg Width: 6 Ft 0 In

Mount Size:
 Overall Sign Height: 4 Ft 0 In

Minimum Wind Load Rating: 120mph, Exposure B

Miscellaneous Items

Opaque faces

Shipping included

*** Review Custom Artwork for Text, Graphic and Layout Details ***

I.D. Cabinet: Black
 Header Copy: White

Draft: White
 Mount: Black



3 Part Specifications

TEKSTAR
SERIES



stewart signs
America's Premier Sign Company

1-800-237-3928
www.stewartsigns.com

TekStar Full Color LED Electronic Message Center

1.01 ACCEPTABLE MANUFACTURER

- A. Products of the following manufacturer or comparable, provided they comply with requirements of the contract documents, are considered functionally and physically similar/acceptable:
 - 1. TekStar
 - a. With Internally Illuminate Identification cabinet, Integrated LED display and Support Structure
 - b. By: J.M. Stewart Corporation
2201 Cantu Court, Sarasota, FL., 34232

1.02 QUALITY ASSURANCE

- A. Quality Standards: Provide complying with the following standards
 - 1. Signage and work under this section shall be manufactured by vendors dealing extensively in this type of work and capable in producing first quality work
 - 2. Entire sign, LED display shall be obtained from a single manufacturer to ensure uniformity in quality of appearance and construction
 - 3. Vendor shall have at least seven (7) years of experience providing LED products and services for other organizations
 - 4. All work and installation shall be in accordance with the requirements of these Specifications and manufacturer's recommendations. In the event of disagreement between these specifications and the manufacturer's recommendations, these Specifications shall govern..

1.03 MATERIALS AND CONSTRUCTION

- A. Integrated LED Display Cabinet
 - 1. Sign cabinet shall be serviceable from the front
 - 2. Welded aluminum cabinets (1) mounted inside the outer cabinet
 - 3. Available as single-sided or double-sided
 - a. Cabinets shall be of weather resistant design
 - b. Cabinet finish shall have an industrial, graffiti resistant, texture coating
 - c. LED cabinets shall be climate controlled by thermostat, controlling fans.
 - d. Cabinets shall have side ventilation/water diverters.
 - e. All LED tiles are conformally coated for weatherproofing purposes
 - 4. Matrix: 32x112, 24x112, 16x112, 32x80, 24x80 and 16x80
 - 5. LEDs per pixel: 3 (1 red, 1 blue and 1 green)
 - 6. On Center Dimension spacing of pixels: 20mm
 - 7. A hinged cover, utilizing UV resistant Makrolon SL®, will protect the display. This hinged cover is constructed with a prop-rod system to hold the face open for easy access to internal components. The Makrolon SL® lens is an integrated part of the cover, NOT an after-market sheet that is bolted to the sign face over the LEDs. (Integrated lens prevents virtually all condensation.)
 - 8. The LED display will be constructed such that the entire LED display can be tilted down to allow ease of service of components behind the LED display.
 - 9. LED color: COLOR

- a. NIT Rating shall be variable, up to 8,000 NITs
- 10. Matrix shall utilize modular construction and each module will conform to 8 pixels high by 16 pixels wide for 24 high displays and 16 pixels high by 16 pixels wide for 32 and 16 high displays.
- 11. Parent-child relationship for control of double-sided signs
- 12. The LED display shall be capable of displaying the following:
 - a. Up to 4 lines of text depending on matrix size
 - b. Text sizes range from 5.5" - 22.4" depending on matrix size
- 13. Display shall be capable of displaying graphics, video clips and animations.
 - a. 16.7 million colors
 - b. Up to 30 frames per second video clips, animations and transitions
 - c. 480 Hertz refresh rate (eliminates jerky movements)
 - d. 2G-flash memory card for holding on-board graphics and text

B. System Requirements

- 14. The owner will provide a computer to control the electronic message center. This computer will conform to the following format:

Operating System	Windows 98 SE, NT, 2000, or XP, Windows 7
Processor	266MHz or faster Pentium III or compatible
Hard Drive	130MB free space (300MB for full install)
Memory	256MB or higher
Data Feed	Modem - 56K Modem required RS485 Direct Connect - Serial or USB required 10/100 Network Card - Required for network connection

C. Software Specifications

- 15. Scheduling will be made in 12 or 24-hour formats.
- 16. User-friendly menu and icon based software
- 17. Wizards will be built in to allow graphics and text to be incorporated together
- 18. On-line help will provide excerpts from the Owner's Manual
- 19. Menu-guided control
- 20. Simultaneous display and edit capability
- 21. Automatic rebooting of system disk shall be made after power outage; system clock and calendar shall continue to function during power failure.
- 22. Software, program sequences and schedules must be able to be stored on floppy disk or fixed disk to allow operator to edit previously used messages
- 23. Various text modules and scalable fonts
- 24. Traveling text
- 25. Scheduling can be pre-programmed years in advance
- 26. Menu guided control of all software features
- 27. Unlimited online upgrades to software for life
- 28. Unlimited access to online graphics library for life

D. Power Supplies

- 1. The LED display shall be powered by 100% solid-state electronic operating circuitry.

E. Information Transmission Method Options

1. The unit will include a USB port on the outside of the cabinet for direct communication to upload play files.
2. LED display shall be compatible with the following Transmission Methods. Each method shall have specific requirements and shall be reviewed and decided upon prior to manufacturing.
 - a. Ethernet Cable
 - b. Ethernet with Extender Cable
 - c. USB & Ethernet
 - d. Fiber Optic Cable
 - e. Short Range Wireless
 - f. Customer Provided Wireless Device
3. Temperature Probe shall be included with the LED cabinet

F. Heat Protection

1. At or above 29° C (80° F), a cooling fan will automatically turn on
2. If the temperature drops to 19° C (67° F), then the cooling fans will turn off
3. At or above 80° C (120° F), the sign will automatically shut down to protect against damage.

G. Identification Cabinet

1. Pan-formed, Bayer Makrolon SL® sign faces (UV / graffiti / vandal resistant)
2. Second surface (inside), 3M High Performance Translucent vinyl for all name / logo graphics
3. Lifetime warranty against all defects in material and workmanship
4. Lifetime warranty against all vandalism breakage except that caused by acts of God or gunshots

H. Outer Cabinet

1. 10" extruded aluminum cabinet
2. Heli-arc welded, mitered corners
3. Acid treatment to remove impurities prior to powder coating
4. Finished with a graffiti resistant powder coat to match support structure
5. Lifetime warranty against all defects in material and workmanship
6. Intake and exhaust fans are used to cycle air and remove heat

1.04 SPECIFIED PRODUCT WARRANTY

A. Provide written warranty for complete warranty terms

1. Sign Structure and Identification Cabinet: Under Normal use and service should the sign malfunction during the life of the sign due to defects in workmanship or materials, the Manufacturer will repair or replace any of the defective materials.
2. The warranty shall also include refinishing and reinstallation, which may be required due to repair or replacement of defective sign where defect was not apparent prior to installation

B. LED Electronic Display

1. Manufacturer to warrant the LED Electronic Display components to be free from defects in workmanship or materials for a period of five years from the date of Substantial Completion.
2. Damage caused by abuse, misuse, misapplication or accidental damage outside the control of the Manufacturer (including Lighting), and any consequential or contingent liability is excluded from the warranty.
3. Manufacturer will repair or replace malfunctioning or defective parts. Removal and reinstallation is the responsibility of the customer.

4. Manufacturer to warrant the LED display cabinets to be free from defects in workmanship & materials for the LIFE of the sign.
- C. Contractor shall be responsible for replacement or refinishing of sign where Contractor's work contributed to rejection or to voiding of manufacturer's warranty.

1.05 SOFTWARE TRAINING

- A. Telephone training provided at no charge www.stewartsigns.com/support/support_tekstar
- B. On-Site Training:
1. On-site Training is optional.
 2. Initial Training Set-up (ON SITE Training option ONLY)
 - a. Vendor will provide factory-trained technician to be on site on average 2 to 4 hours to train customer in programming the sign. This technician must be completely familiar with the system construction, assembly and testing of equipment.
 - b. Technician will perform a visual inspection of the overall sign to ensure proper installation.
 - c. Technician will open and internally inspect the LED display cabinet(s) to insure all connections are sound and components are properly fastened in place.
 3. Before Initial Power-on, Technician to verify (ON SITE Training option ONLY)
 - a. All display modules are properly mounted and secure
 - b. Software is loaded on specified computers
 4. Post-power-on, Technician to perform the following (ON SITE Training option ONLY)
 - a. Transmit a simple text message and verify communication
 - b. Transmit a full screen test pattern to verify all pixels turn on. Program the dimming schedule
 - c. Train staff on usage of the sign software

1.06 SUBMITTALS

- A. Detailed plans, specifications will be provided by the manufacturer. Any engineering will be done the contractor or district.
- B. Manufacturer will provide online links to software, programming / user manuals and maintenance procedures.

CITY OF BATAVIA

DATE: September 15, 2016
TO: Plan Commission
FROM: Joel Strassman, Planning and Zoning Officer
SUBJECT: Windmill Manor Apartments, 2400 Hawks Drive (formerly South Drive)

- **PUBLIC HEARING:** Amendment to the Zoning Map for a Planned Development Overlay
- Final Plat of Subdivision
- Design Review

JNP Batavia, LP, applicant

Background

In 2011, the Plan Commission recommended amendments to the City's Comprehensive Plan Land Use Map and Zoning Map to apply multi-family, high density land use and zoning for the 4.5 acre property located at 2400 Hawks (formerly South) Drive. The Commission also recommended approval of a preliminary plat of subdivision and planned development for an approximately 80 unit multi-family building with for residents 55 years and older to be built using the Illinois Housing Development Authority's Affordable Housing Tax Credit program.

The Commission's recommendations were considered by the City Council accompanying an application to annex the property with an annexation agreement specifying this development. The City Council approved Ordinances 11-08 and 11-09 to annex the property and enter into the annexation agreement. The current applications would establish entitlements to secure building permits for the project anticipated in the 2011 approvals.

Information Submitted by the Applicant

Planned Development. Windmill Manor Apartments is a proposed 80 rental unit, three-story building providing affordable residences to accommodate residents 55 years and older. The building would contain 60 one-bedroom and 20 two-bedroom units, each with a private patio or balcony, along with common social interaction spaces and amenities. 72 units would be offered to residents meeting the Affordable Housing Tax Credit program income requirements and 8 units would be offered at market rate. An additional one-bedroom unit with an office is provided for the on-site manager. The attached Narrative provided by JNB provides greater detail of unit and building amenities.

JNB notes in its Narrative that the site, located among commercial and residential areas, allows it to be part of larger neighborhood where residents can complete daily service needs, purchasing items from nearby businesses. In addition to this economic benefit to Batavia, the building will generate additional property taxes without burdening Geneva schools. Development and use of the site as proposed would be consistent with several Comprehensive Plan housing and land use goals and policies, adding to the diversity of housing available City-wide.

Zoning Code relief was contemplated for this site's project at the time of annexation. Included with the Planned Development is a request to modify the number of required parking spaces in Zoning Code Table 4.204: Off-Street Parking Requirements, and (4) of the development standards in Zoning Code Table 2.204: Site Development Regulations – Multi-Family Residential Districts. These modifications are:

1. Reduce the required number of parking spaces from 137 to 115
2. Omit the required 25% of parking to be in an enclosed building
3. Eliminate the required 10 foot step-back at the 3rd floor
4. Increase the maximum net land area per unit from the allowed 2,333 square feet to 2,418 square feet
5. Increase the maximum building height from the allowed 45 feet to 47 feet

The Institute of Traffic Engineers (ITE) provides parking demand information for all uses, including senior housing. The demand for senior housing specified by the ITE is 0.59 spaces per dwelling unit. Windmill Manor would provide 1.42 spaces per unit. Thomas Place in Glenview, IL is a similar facility that provides 1.3 spaces per unit that adequately serves their demand. Omission of spaces allows for additional landscaped area and outdoor use area.

Requested relief for the enclosed parking is to retain the economic viability of the project. Site topography challenges the logistics and economics of below-grade parking. The site is sufficiently sized to provide screened, easily accessible at-grade parking.

Designing this building to provide the required 10 foot step-back at the third floor would reduce the number of 3rd floor units and require a 4th floor. This would greatly impact the development's affordability. Additionally, this relief was specifically noted in the annexation agreement.

The requested increase in the maximum land area per unit is necessitated by the site's unique configuration. The south extension is difficult to accommodate building area. If this were not part of the site, the proposed 81 units would provide the high density required of the Zoning Code. Additionally, this relief too was specifically noted in the annexation agreement.

As proposed, the calculated height of the building is 40.83 feet, taking into account the varied topography around the building. This is below the maximum allowed 45 feet. The request for an additional 2 feet in height is to accommodate any grading changes during final engineering that may be necessary, resulting in a change to the calculated height of the building.

Design Review. The proposed building will be constructed of masonry (stone) blocks and masonry siding. The building would be setback over 60 feet from the adjacent residential properties. In addition to each unit's private outdoor space (patios and balconies), communal outdoor space is provided. Site landscaping includes parking lot screening, and a fence, trees and shrubs to buffer the adjacent residential properties.

The main entrance to the site would have decorative landscaping and an identification sign constructed of block and dryvit. The landscape plan identifies existing parkway trees and proposes an additional parkway tree at the west site access.

The JNB Narrative provides responses to the Design Review findings required in the Zoning Code. The project would be consistent with the Multi-Family Design Guidelines adopted by the Plan Commission. The site and building are designed to fit the neighborhood context while providing quality residential units and communal activities. The building will be designed to comply with Illinois accessibility standards and the Americans with Disabilities Act. The site will be attractively landscaped and provide easy access to parking.

The project would conform to several goals and policies of the Comprehensive Plan's Land Use, Urban Design, and Environment elements. Included in the Urban Design goals and policies are the use of quality building materials, designing a building and site to fit the neighborhood, and provide landscape buffering and outdoor use spaces. Goals and policies of the Environment Element addresses use of native plants for landscaping, controlling erosion and designing stormwater management to fit the McKee Tributary facility, and providing an energy efficient building.

Except for the requested relief to the Zoning Code in the Planned Development, the project would conform to the Zoning Code. As designed, the project would be compatible with adjacent development. Senior housing is a relatively low-intensity use and the medical facility on the north side of Hawks Drive and nearby commercial uses can serve the residents of this building. A fence, berm, and landscaping provide buffering to adjacent residential properties. City utilities can adequately serve the proposed site development and use.

Subdivision. Subdivision of the property would establish the site as a single lot. Easements are proposed to accommodate utilities. JNB has requested a variation to Subdivision Regulations Section 11-5-2-G to allow a slope of 3:1 in place of the maximum 4:1 slope along portions of the south and west sides of the property. The alternate slope is needed to navigate the varied topography of the site.

As addressed in the annexation agreement for the property, JNB has received acceptance of the Geneva School District for this project to not pay the Subdivision Regulations' Capital Improvement Development Fee (Section 11-6-3). The Geneva School District will accept JNB's payment of \$9,914.79 for the Land-Cash contribution required by the Subdivision Regulations.

Staff Analysis

Planned Development. The proposed Windmill Manor is consistent with the project that was part of the 2011 annexation of the property. The Planned Development would formally establish the lot area per unit and the building step-back Zoning Code modifications included in the annexation agreement. The additional Code relief items may be recommended for approval by the Commission through this Planned Development.

The requested relief for the number of parking spaces is reasonable given the restriction for residents being 55 years of age and older. The Zoning Code allows one to request relief for age-restricted housing. The amount of spaces provided exceeds that suggested by the ITE and what has proven to be sufficient with Thomas Place in Glenview. When asked, Village of Glenview staff reported no issues or complaints with parking at Thomas Place. With the target of affordable rents, the challenges and potential expense of providing enclosed parking is also a reasonable modification to consider. Staff notes that on-site parking would be easily accessed and parking areas would be screened and well-landscaped.

The requested relief for building height will not result in the building increasing its basement to roof height. Measured building height is affected by the grade adjacent to the building. The requested relief would allow the building, as designed, to be built if the grade adjacent to the building needs to be lowered through final engineering. With the site's varied topography, grading for final engineering may differ slightly from the preliminary engineering developed for the project. Staff notes that to accommodate final engineering, the Commission should consider recommending approval of the Plan Development to allow for minor modifications to accommodate staff approval of final engineering. Staff also notes that a small portion of the south brick patio extends into the proposed utility easement. The Commission should recommend conditioning approval of the Planned Development ordinance to include language requiring the building owner to remove and replace the patio if access to the sewer in the easement is needed.

Design Review. Staff agrees with JNB's assertions that the site is designed to provide affordable housing in a building that fits the neighborhood. The proposed multi-family use would conform to the Zoning Code with the requested Planned Development Relief and substantially conform to the Commission's Multi-Family Design Guidelines.

The building design balances use of masonry materials with providing private outdoor space for each unit. The west and south elevations of the building (those visible to adjacent residential properties) include articulations that would break up the massing of those walls. Landscaping would be substantial throughout, and provide an inviting presence to the site from Hawks Drive. The monument sign would be well coordinated with the building's design.

Staff had requested an additional pedestrian connection to the public sidewalk on the east side of the site. JNB has stated that substantial grading would be needed to accommodate this and is not considering adding this feature.

Plan Commission action on Design Review is final. In considering approval of Design Review, the Commission must arrive at findings for approval as specified in the Zoning Code. Staff agrees with JNB's responses to the findings. Additionally, staff notes that added diversity of housing in the City and transitional use between single family and commercial uses are both of the Land Use Element. The Commission may arrive at the required findings for approval as follows:

- A. The project is consistent with applicable design guidelines.**
- B. The project conforms to the Comprehensive Plan, and specifically to the Land Use, Urban Design, and Environment Elements.**
- C. The project is consistent with all applicable provisions of the Zoning Code.**
- D. The project is compatible with adjacent and nearby development.**
- E. The project design provides for safe and efficient provision of public services.**

As with the Planned Development, the Commission can consider approving the Design Review to allow for minor modifications to accommodate staff approval of final engineering.

Subdivision. The Final Plat is generally consistent with the preliminary plat approved with the 2011 annexation and includes utility easements. Staff can accept the requested variation to the maximum 4:1 slope, provided storm water is managed properly with final engineering design. The Geneva School District has accepted JNB's commitment to pay the land-cash fee and has accepted waiving of the Capital Improvement Development Fee. Staff supports waiving the Capital Improvement fee.

Staff notes that there are a number of minor corrections to be made to the wording of the signature and utility certificates, along with other minor typos on the plat. These should be corrected before presentation to the Committee of the Whole.

Staff Recommendations

Staff recommends the Plan Commission open and conduct the public hearing for the Planned Development concurrent with its consideration of the Design Review and Subdivision. After closing the hearing, the Commission should take action first on the Planned Development.

Planned Development. Staff recommends the Commission recommend approval of the Planned Development to include the following modifications to the Zoning Code:

1. Zoning Code Table 4.204: Off-Street Parking Requirements - Reduce the required number of parking spaces from 137 to 115
2. Zoning Code Table 2.204: Site Development Regulations – Multi-Family Residential Districts to:
 - a. Omit the required 25% of parking to be in an enclosed building
 - b. Eliminate the required 10 foot step-back at the 3rd floor
 - c. Increase the maximum net land area per unit from the allowed 2,333 square feet to approximately 2,418 square feet
 - d. Increase the maximum building height from the allowed 45 feet to 47 feet

Commission recommendation for the Planned Development should also include the following conditions:

1. Allowing minor revisions to site conditions as a result of staff approval of final engineering.
2. The Planned Development ordinance including language requiring the building owner to remove and replace the south patio if access to the sewer in the adjacent easement is needed.

Design Review. Staff recommends the Commission first arrive at findings for approval as noted in the memo. Staff recommends the Commission approve Design Review, subject to City Council approval of the Planned Development, to allow minor revisions to site conditions as a result of staff approval of final engineering.

Subdivision. Staff recommends the Commission recommend approval of the Final Plat of Subdivision to include the following:

1. A variance to Subdivision Regulations Section 11-6-3 to waive payment of the Capital Improvement Development Fee.
2. A variance to Subdivision Regulations Section 11-5-2-G to allow a slope of 3:1 in place of the maximum 4:1 slope along the south and west sides of the property, subject to staff approval of final engineering.
3. Correcting signature and utility certificates before City officials sign the plat.

Attachment: JNB Narrative and plans

c Mayor and City Council
Department Heads
Media

JNB Batavia, LP Narrative and Responses to Comprehensive Plan Goals and Zoning Standards

Project Information

Project Name: Windmill Manor Apartments- Batavia
Project Location: 1500 South Drive, Batavia, Kane County, Illinois
Owner: JNB Batavia, LP
Phone: 773-968-9590-Chris Tritsis (or 563-505-5611- James Bergman)
Email: tritsis@cubitdevelopmentgroup.com (or jim@jnbice.com)
Address: 20 Sandstone Court, LeClaire, IA 52753

Basic Information

Land: Vacant
Site Area: App 4.5 acres, 195,827 SF
Current Zoning: Zoned R-5
Proposed Zoning: R-5 with a PUD overlay and Design Review Approval

Introduction to Project

Windmill Manor Apartments is a proposed mixed-income, 80-unit (plus one manager unit), new construction three-story elevator development for seniors 55 and older to be located in Batavia, Illinois. The project will consist of 60 one-bedroom and 20 two-bedroom affordable units of which 72 will be affordable to seniors. The remaining 8 units will be unrestricted to market rate monthly rents. There will be an additional one-bedroom onsite manager's office in the basement.

Windmill Manor Apartments is being designed specifically for the aging population and the building design allows for an abundance of social space. The project will include thousands of square feet of space for: storage (for the building and residents), the onsite manager's unit, several office spaces (maintenance, leasing, etc.), main lobby (with furniture such as couches and tables), a dining room, sitting areas, a community room, an exercise room, a library, a multi-media room, and a community beauty salon, computer room and craft room.

Each spacious unit will have an outdoor balcony, will have wireless internet, and be cable ready. All kitchen appliances will be Energy Star rated and include refrigerator/freezer, microwave, electric range/oven, and dishwasher. The units will have vinyl or laminate flooring in the kitchen and bathroom and wall-to-wall carpet in the living and bedrooms.

The surrounding residential and commercial allows for a generous mix of service and creates a sense of place in which the senior residents may be a part of a neighborhood and have the ability to complete daily service needs within a neighborhood business district.

Proposed Land Use

As part of the Annexation Agreement, dated April 4th, 2011 the vacant land has a zoning of R-5. The project will be age restricted senior Independent living for tenants 55 and older.

Economic Benefits to the City

This development will provide more than 81 eligible voters to the community. These residents will bring the purchasing power to Batavia and will significantly add to the sales tax base as they shop at the local businesses, grocery stores, clothing companies, and other commercial establishments.

Currently the site is vacant land and is not highest and best use for generating real estate tax. The building once completed and fully leased will generate additional property tax. The development will generate various application fees. The building's energy consumption is primarily electric so it will benefit the surplus of electricity the town has invested in. Since the project is age restricted it will not impact the schools, have a lessened impact on parks, water consumption, sewer demands and road usage. Construction of housing brings many economic benefits to a local community, such as increase in jobs. The hard costs to preserve, renovate, and improve the project's housing units is approximately \$12,000,000. This also creates indirect economic benefit as surrounding retail owners will have an increase in customers as various on-site workers will patronize these establishments on a daily basis.

Number of Employees

- **Construction-** The potential direct job creation generated by this project is 5 jobs for every million dollars of construction. This would be equivalent to 90 construction jobs.
- **Permanent-** 1 Full Time Property Manager, 1-part time maintenance person, various part time: accountant, various vendors, providers, etc. that will support this new facility.

Intense Use of Utilities

There will be no intense use of Batavia utilities. Similarly, the project is trying to achieve Enterprise Green which will incorporate energy efficient layout, performance products like closed and open cell spray foam for reduced heat and cooling loads, additional green products and energy saving fixtures.

- **Sewer/Water/Drainage:** The McKee Creek storm water detention already anticipated a development on the site. But since this is a senior project it will utilize less water and sewer than a traditional family project or even a commercial project like a restaurant. That will translate into less washing clothes, less cooking, less toilets flushing, less showering, no pool, etc. Additionally, the units in the building will include nearly all one bathrooms.
- **Electricity-** The project units will include electric heat, air conditioning and appliances, such as, washer/dryer, stove, oven, microwave etc.). These appliances will be Energy Star and high efficiency. Lighting will similarly be either Energy Star fixtures, company fluorescent or all LED. All are designed to incorporate a lower demand on the electrical footprint.
- **Gas-** The building will have central water heat that will be gas and piped to the individual units.

Lastly, Per the MEMO TO: Mayor and City Council dated April 1, 2011, City staff concludes that the proposed change to the requested land use category would not negatively affect the City's ability to provide utilities and services to this and other properties in the City if the property were to be developed under a conforming zoning district as proposed with the Comprehensive Plan Change. This includes emergency response and sanitary sewer. Intensity of potential development and its effect on traffic would be comparable to, or even less than possible with the development potential of community commercial uses and zoning.

Proposed Start of Construction

October 10, 2016

Proposed End of Construction

November 1, 2017

Leasing

August 1, 2017

Comprehensive Plan Use Goals: The following details how the proposed development meets the Comprehensive Plan Land Use Goals Planned Development Standards and Design Review Standards:

COMPREHENSIVE PLAN LAND USE GOALS

Goal 1. Maintain Batavia as an attractive place to live, work, shop and play, with a balance of land uses.

RESPONSE: The proposed use adds to the balance of land uses in Batavia. With the aging population, independent senior housing is necessary to serve the community. Given its location, size and shape, the subject property is not a viable retail site.

Goal 2. Protect and enhance environmentally sensitive and historically significant place.

RESPONSE: This goal is not applicable. The subject property is not environmentally sensitive or historically significant.

Goal 3. Plan land uses to achieve an efficient provision of public facilities and services.

RESPONSE: Adequate sewer and water capacity exists to service this area.

Goal 4. Maintain a diversity of housing types, prices and styles for all segments of the community.

RESPONSE: Tax credits are being used to make the units as affordable as possible, which is a policy under this goal. It also fulfills the policy of encouraging new senior housing complexes.

Goal 5. Coordinate land use and transportation planning.

RESPONSE: The proposed development meets the policy of locating high density residential uses convenient to transit corridors, such as Randall Road and Fabyan Parkway. It also is located on an internal circulation route, another stated policy.

Goal 6. Continue to make the downtown and the Fox River the focal point of the community.

RESPONSE: This goal is not applicable.

Goal 7. Redevelop obsolete industrial areas as mixed-use developments compatible with neighborhood character.

RESPONSE: This goal is not applicable.

Goal 8. Provide gradual land use transitions and buffers between lower intensity and higher intensity uses.

RESPONSE: The proposed use and high density residential classification is a compatible transition to the Community Commercial designation on the Comprehensive Plan to the west, General Commercial to the east, Community Commercial to the north, which will be requesting a Comprehensive Amendment change to high density residential and residential to the south. The transition to the residential to the south is buffered by berming, extensive landscaping and a six foot high board on board closed fence. The closest home is approximately 160 feet from the proposes senior residential building.

Goal 9. Maintain sufficient retail and employment areas to ensure the fiscal and economic vitality of the City.

RESPONSE: The subject property is not viable for retail use given its location and configuration. This is also why the comprehensive land use designation for the subject property was amended several years ago from commercial to high density residential.

Goal 10. Establish a system of parks, open spaces and trails that supports neighborhoods, protects sensitive environmental areas.

RESPONSE: The proposed use will provide an outside area for residents. If required, a fee-in-lieu will be paid to the Park District.

Goal 11. Plan for the possible reuse of both the Fermilab and unincorporated Mooseheart properties.

RESPONSE: This goal is not applicable.

RE-ZONING STANDARDS

The proposed zoning to R-5 PUD overlay satisfies all the findings that shall be made pursuant to Section 5-7-4. At the time of the hearing, the City will be able to confirm the required public notice and public meetings and hearings have been conducted pursuant to Section 5.704A and B. Regarding Section 5.704(C), the City amended the Comprehensive Plan for this property to high density residential several years ago. This amendment was approved in an anticipation of an independent senior living facility.

PLANNED DEVELOPMENT OVERLAY STANDARDS

The proposed development meets the purposes and uses for a Planned Development Overlay. Section 3.101 provides:

3.101 Purposes

The purposes of the Planned Development Overlay Zoning District (PD) are to:

- A. To modify development regulations of this Title to implement the Comprehensive Plan.
- B. Provide opportunities for unique or mixed-use development.
- C. Provide opportunities for development intensity greater than permitted by base district regulations for affordable housing, senior housing, and congregate living facilities.

Section 3.102 provides:

3.102 Use of a Planned Development Overlay Zoning District

- A. ***Extent.*** A Planned Development Overlay Zoning District (PD) may overlay all or part of any base district or contiguous districts. Base district regulations shall apply except to the extent modified by an overlay district. The Official Zoning Map shall identify the area covered by each PD.
- B. ***Use of the PD Zoning District.*** A PD may only be adopted for one or more of the following:
 - 1. To modify development regulations of this Title to implement policies in the Comprehensive Plan.
 - 2. To permit unique or mixed-use development.

3. To permit development intensity greater than permitted by base district regulations for affordable housing, senior housing, and congregate living facilities.
4. To permit a concurrent review of structures and neighborhood design, including lot pattern.

C. *Limitations.*

1. A PD shall not be used to add, eliminate, or restrict uses permitted in the base district regulations.
2. A PD shall be applied only to contiguous property so as to create a unified and cohesive development.

RESPONSES:

The proposed development meets the criteria established in 3.101 and 3.102 by modifying zoning regulations in the R-5 district to permit a senior housing development to be established, which is one of the policies under goal number 4 of the Land Use element of the Comprehensive Plan. Modifications to some of the zoning requirements are necessary in order to construct the state of the art facility being proposed. Also, some of the requirements in the Zoning Code simply do not apply to senior housing facilities. Lastly, Section 3.101C and 3.102B3 specifically provide the Planned Development Overlay should be used to provide opportunities for development intensity greater than permitted by base district regulations for senior living facilities. Although the development does not seek to increase the density provided in R-5, this provision recognizes the difficulty in developing an affordable senior housing facility under the R-5 regulations and zoning ordinance regulations. The Planned Development does not request any of the limitations noted in Section 3.102(C).

The modifications from the zoning ordinance are listed in the below chart. They all are requested to implement Goal 4 of the Land Use element of the Comprehensive Plan. Goal 4, Policy (a). states “Encourage use of the Zoning Code Planned Development Overlay Zoning District residential density bonus to insure affordability”. Goal 4 Policy (b) states “Encourage new, and the expansion of existing senior housing complexes.” Goal 10 Policy (a) states “Require new development and redevelopment to orient open areas toward adjacent rivers and creeks”

PUD MODIFICATION TO
ZONING ORDINANCE

<u>Ordinance Requirement</u>	<u>Requested Modifications</u>
1. Table 2.204 (A) requiring a minimum of 25% of required parking to be located in an enclosed building	No enclosed parking
2. Table 4.204 requiring 1.5 parking spaces per one bedroom and 2.25 parking spaces per two bedroom = 137 total (61 one bedroom = 92 spaces plus 20 two bedroom = 45 spaces)	115 Parking spaces
3. Table 2.204 – 10 Foot Building at 3 rd floor step-back	No building step-back at 3 rd floor
4. Table 2.204 Maximum Net Land Area per Unit – 2,333 square feet	2418 Square Feet Maximum Net Land Area Per Unit
5. Table 2.204 Maximum Building Height – 45 Feet	47 Feet Maximum Building Height
6. Subdivision Ordinance Section 11-5-2-G – Requiring 4:1 maximum grading slope	3:1 maximum slope requested along the south and west sides of the Property

1. The requested modification to not enclose 25% of the parking and to reduce the number of parking spaces is to satisfy the affordability policy for this senior housing development and the policy to locate open areas near creeks and streams. The site has more than adequate space to provide at grade uncovered parking. The cost to enclose some of the parking, together with the topographical challenges of the site make this requirement cost prohibitive. In addition, it would cause the building to go one story higher since the current plan contains the manager unit, common area and storage in the basement level and the lobby and apartments on the first level. All the outside parking provided is located adjacent to non-residential uses and will be adequately screened and buffered.

2. As to the number of parking spaces, the ITE Manual for Average Peak Parking Demand for Senior Adult Housing is .59 vehicles per dwelling unit. The range is .45 to .67 parking spaces per dwelling unit. The Thomas Place senior independent facility in Glenview, which is a facility one of the principals of applicant has developed contains 1.3 parking spaces per dwelling unit (186 spaces for 144 units). This parking ratio has been more than adequate to serve the facility. Not providing these additional 27 spaces, in addition to reducing unnecessary developments costs, also allows for the southwest corner of the site to be used as an outdoor area for the residents, rather than parking. This location fulfills the Comprehensive Plan policy of locating open spaces adjacent to rivers and creeks.

3. The elimination of the step-back provision on the third floor and the minimum density modification were approved in the annexation agreement and are now being codified in the Planned Development Overlay. The step-back provision would result in the loss of units, would require an additional floor and would greatly impact the development's affordability.

4. The maximum net Land Area per Unit is just above the 2,333 square foot requirement (approximately 2,418 square feet). The unusual configuration of this parcel, with its triangle shape and rectangle appendage in the southwest corner does not lend itself to maximum efficiency in laying out the building. The maximum requirement would be met if not for the rectangle are in the southwest corner.

5. The proposed plans meet the height requirement. Currently the project is calculated to reach a height of 40'-10" which is 4'-2" under the maximum height of 45'-0" required per city regulations. The modification is requested only if, during construction grading, the slope on the south end of the property needs to be changed.

6. The slope modification on the south and west sides of the Property are necessary because of the extraordinary topographical relief across the site. There is 20 feet of grade difference from north to south making this 3 to 1 slope necessary.

DESIGN REVIEW STANDARDS

The proposed development meets the standards for approval required by Section 5.604 of the Zoning Ordinance, which provides:

5.604 Design Review Approval

- A. **Action.** The Plan Commission of the Director as appropriate shall approve, approve with modifications and/or conditions, or deny an application for Design Review subject to the requirements of the Zoning Code and based on compliance with approved design guidelines. An action of the Plan Commission shall be accompanied by findings of fact giving the reasons for the action.
- B. **Findings for Approval.** The following findings shall be made prior to approval of a Design Review application:
 - 1. The project is consistent with applicable design guidelines.
 - 2. The project conforms to the Comprehensive Plan, and specifically to the Land Use, Urban Design, and Environmental Elements.
 - 3. The project is consistent with all applicable provisions of the Zoning Code.
 - 4. The project is compatible with adjacent and nearby development.
 - 5. The project design provides for safe and efficient provision of public services.

RESPONSES:

1. City Multifamily design guidelines compliance:

The project is compatible and compliant with adjacent neighborhoods in form, function, finishes, and proportion. As can be seen by the elevations and other plans, the development is substantially consistent with the Batavia's design guidelines. The proposed development will provide abundant open and common space within and around the building. There will be picnic areas with barbecue grills and picnic tables, open balconies and/or patios, community and recreation rooms, an exercise room with exercise equipment, onsite manager with office, wifi, media room, computer and business room, bicycle parking and abundant storage on the site. These complimentary amenities will enhance the fully functional residential community development.

The elegant, high end quality and durable finishes throughout the project will provide a rich, and tasteful ambiance that will be attractive and functional. The building will be "secure" with access control for the tenant's safety, and security camera monitoring all entrances, and common circulation areas. The site and all common / circulation areas within the building will be well lighted to provide tenants and visitors a safe environment.

The site will be attractively landscaped in compliance with the city zoning standards, and the parking will be arranged to allow good access onto the site and into the building with particular attention to the ease of access from the parking areas to the building for the elderly.

The tenants and visitors will be able to access all building and site amenities via corridors and/or sidewalks that comply with all standards for access, the Illinois accessibility code, and the Americans with Disabilities Act.

The building has been designed to complement and fit the site. The façade incorporates numerous materials, elevations and roof lines, as well as surfaces in order to break up the façade through avoiding a "box" look. Each apartment will have a balcony or patio giving all tenants their own "outdoor" space, as well as providing an element that breaks up the building façade.

- 2. The proposed development is consistent with all these elements. It meets the land use goals element as outlined in a separate section of this narrative. The environmental element goals are satisfied by (i) the use of native plants and landscape materials as part of the landscape plan; (ii) minimizing erosion and stormwater pollution by the use of best management practices as part of the project's stormwater management; (iii) constructing a new, energy efficient building. The Urban Design guidelines are met by, including, but not limited to (i) substantially meeting the City's multi-family design guidelines; (ii) providing high quality building materials that are appropriate in size and scale and extensive**

landscaping around the perimeter and the building to provide screening, softening and buffering; (iii) providing outdoor spaces for the residents of this development; (iv) use of lighting to minimize glare and light pollution and using lighting to accent various features of the development; providing attractive signage that is in scale for the surrounding area.

- 3. The project is consistent with all applicable provisions of the Zoning Code, except as modified or varied.**
- 4. The project is compatible with adjacent and nearby development. Senior housing will be a less intense use than many of the potential general commercial uses. The trend of development in this area is for a similar type of use being proposed to the north, commercial to the east and medical office to the west. To the south is a residential subdivision. The closest home, however, is approximately 160 feet from the proposed building and separated by berming, landscaping, and a six-foot-high closed board on board fence.**
- 5. It does. The development has been reviewed by all departments of the City and modifications made pursuant to their comments and suggestions.**



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH EAST

STOCK DESIGN ARCHITECTURE



SOUTH EAST

STOCK DESIGN ARCHITECTURE



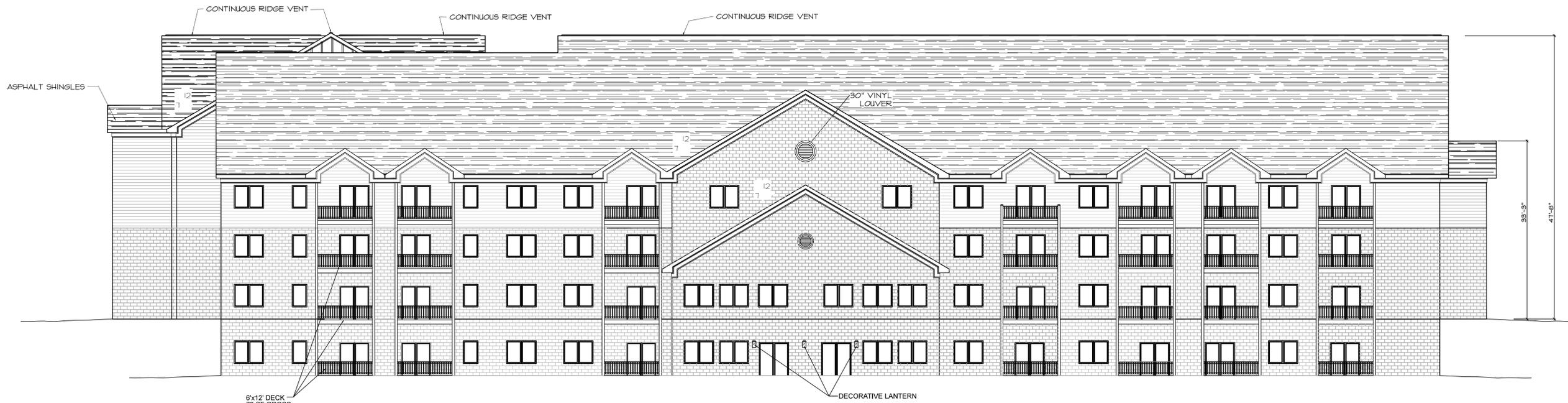
SOUTH WEST

STOCK DESIGN ARCHITECTURE



FRONT ELEVATION

SCALE: 3/32" = 1'-0"

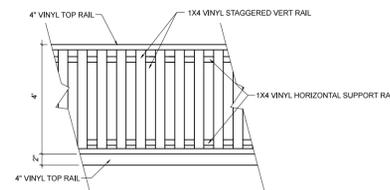


REAR ELEVATION

SCALE: 3/32" = 1'-0"



PLAN VIEW



ELEVATION VIEW

DECK RAILING & EQUIPMENT SCREEN DETAIL

NO SCALE

REVISIONS

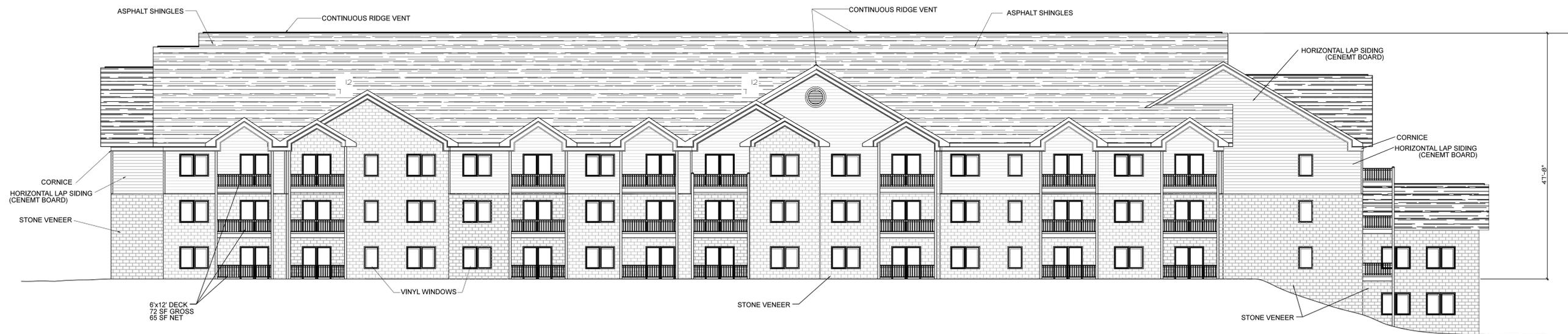
SHEET DESCRIPTION

EXTERIOR ELEVATIONS

JOB NO.: 16200
 DATE: 15MAY16
 DRAWN BY: MS

A-7

SHEET NO.



SIDE ELEVATION

SCALE: 3/32" = 1'-0"



INTERIOR COURT ELEVATION

SCALE: 3/32" = 1'-0"

REVISIONS

NO.	DESCRIPTION

SHEET DESCRIPTION

EXTERIOR ELEVATIONS

JOB NO.: 16200
 DATE: 15MAY16
 DRAWN BY: MS

A-7.1

SHEET NO.

Landscape Calculations

Perimeter Landscape Area	Required	Proposed
North/South Drive - 757.66'	31 trees 155 shrubs	31 trees 160 = 80 shrubs + 80 grasses
East (Northern) - 25.29'	1 tree 5 shrubs	15 grasses
East (Southern) - 200.00'	8 trees 40 shrubs	40 = 20 shrubs + 20 grasses
South (Eastern) - 499.02'	20 trees 100 shrubs	20 trees 100 = 52 shrubs + 48 grasses
South (Western) - 150.00'	6 trees 30 shrubs	6 trees 30 = 15 shrubs + 15 grasses
West - 580.26'	24 trees 120 shrubs	24 trees 120 = 67 shrubs + 53 grasses
Common Open Space Landscaping	Required	Proposed
80 Units	80 trees	80 trees
Parking Lot Landscaping	Required	Proposed
Landscape screen (at rights of way)	Min. 3' height	Meets
Shade trees - 115 parking spaces	12 shade trees	12 shade trees
Interior landscaping - 46,684 sq. ft.	Min. 10% = 4669 sq. ft.	8122 sq. ft.
Street Frontage	Required	Proposed
Street trees	40' on center/13 trees	13 = 11 existing + 2 new trees
Building Foundation	Required	Proposed
Walls that face public rights of way	Min. 40% of wall length	Meets

Plant List

Shade Trees	Key Qty.	Size	Botanical Name	Common Name	Remarks
ACF	7	2.5"	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	BB
ACR	11	2.5"	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	BB
CEO	9	2.5"	Celtis occidentalis 'Prairie Pride'	Prairie Pride Common Hackberry	BB
GTS	6	2.5"	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Thornless Honeylocust	BB
OST	3	2.5"	Ostrya virginiana	Ironwood/American Hophornbeam	BB
QUB	7	2.5"	Quercus bicolor	Swamp White Oak	BB
QUC	3	2.5"	Quercus muehlenbergii	Chinkapin Oak	BB
QUR	4	2.5"	Quercus rubra	Red Oak	BB
ULM	9	2.5"	Ulmus x 'Morton Glossy'	Triumph Elm	BB

Ornamental Trees	Key Qty.	Size	Botanical Name	Common Name	Remarks
ALN	8	6'	Alnus glutinosa	Common Alder	BB/Clump
AMC	2	6'	Amelanchier canadensis	Shadbowl Serviceberry	BB/Clump
HMV	3	6'	Hamamelis vernalis	Vernal Witchhazel	BB/Clump
MAS	3	6'	Magnolia stellata 'Royal Star'	Royal Star Magnolia	BB/Clump
MLS	7	4'	Malus sargentii	Sargent Crabapple	BB/Clump
MPP	20	6'	Malus 'Purple Prince'	Purple Prince Crabapple	BB/Clump

Evergreen Trees	Key Qty.	Size	Botanical Name	Common Name	Remarks
PGD	18	8'	Picea glauca 'Densata'	Black Hills Spruce	BB
PIA	22	8'	Picea abies	Norway Spruce	BB
PIC	22	8'	Picea pungens	Colorado Green Spruce	BB
PSM	11	8'	Pseudotsuga menziesii	Douglas Fir	BB

Shrubs	Key Qty.	Size	Botanical Name	Common Name	Remarks
ARB	32	24"	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	BB
BUX	29	24"	Buxus x microphylla 'Glencoe'	Chicagoland Green Boxwood	BB
CLE	18	24"	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	BB
COT	53	3"	Cotoneaster acutifolius	Peking Cotoneaster	BB
CSI	40	24"	Cornus sericea 'Isanti'	Isanti Redosier Dogwood	BB
HPW	11	24"	Hydrangea paniculata 'Pinky Winky'	Pinky Winky Hydrangea	BB
HYL	28	24"	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	BB
HYQ	11	24"	Hydrangea quercifolia	Oakleaf Hydrangea	BB
JCS	31	24"	Juniperus chinensis var. sargentii	Sargent Juniper	BB
RHG	47	24"	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	BB
RKO	24	#3	Rosa 'Knock Out Rose'	Knock Out Rose	Container
SMK	25	24"	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	BB
VBM	65	24"	Viburnum dentatum 'Christom'	Blue Muffin Arrowwood Viburnum	BB

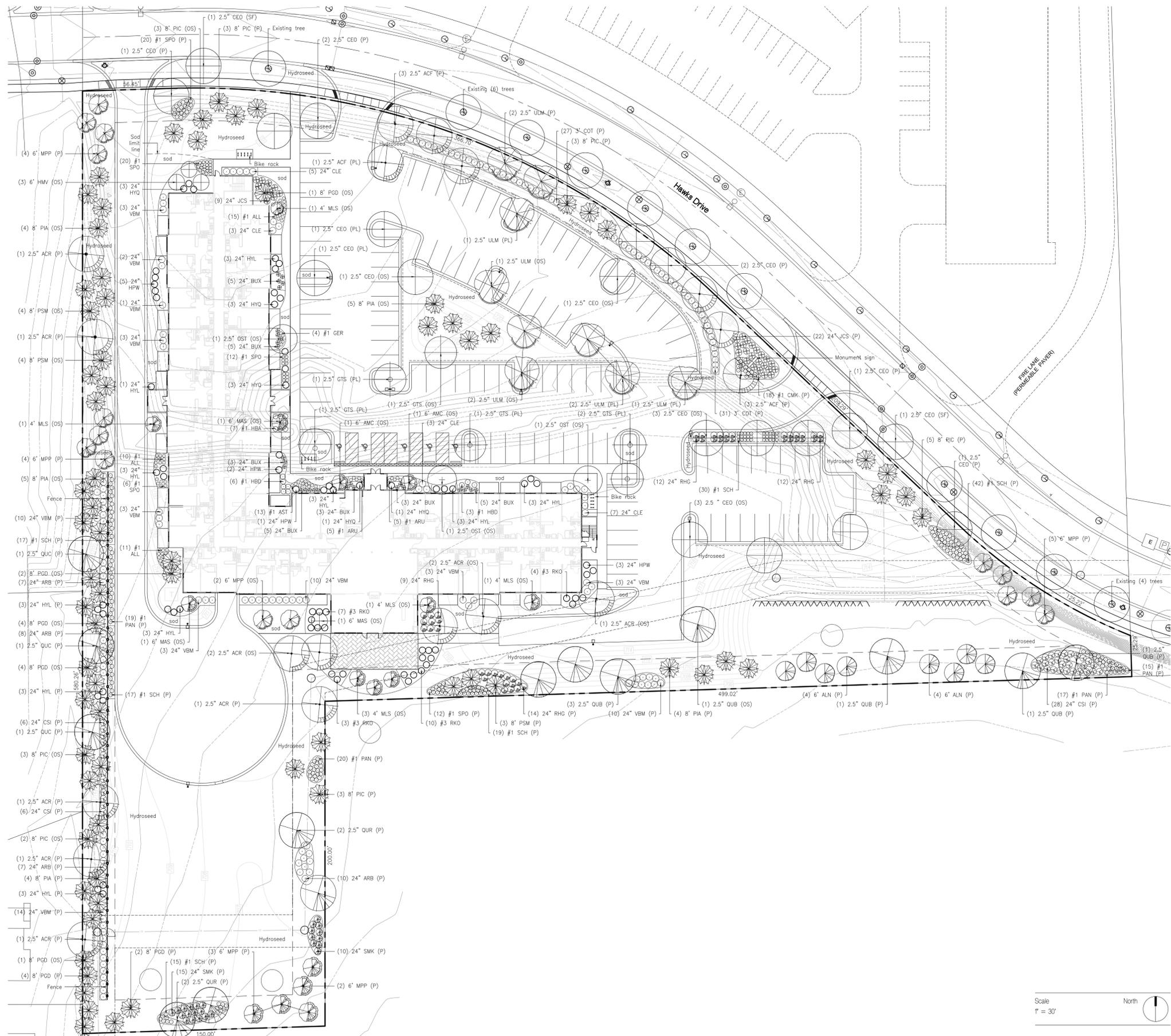
Perennials and Ornamental Grasses	Key Qty.	Size	Botanical Name	Common Name	Remarks
ALL	36	#1	Allium 'Summer Beauty'	Summer Beauty Allium	Container
ARU	10	#1	Aruncus aethusifolius	Miniature Goatsbeard	Container
AST	13	#1	Astilbe chinensis 'Pumila'	Pumila Astilbe	Container
CMK	18	#1	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	Container
GER	4	#1	Geranium 'Jolly Bee'	Jolly Bee Geranium	Container
HBA	7	#1	Hosta 'Blue Angel'	Blue Angel Hosta	Container
HBD	9	#1	Hosta 'Big Daddy'	Big Daddy Hosta	Container
PAN	71	#1	Panicum virgatum	Switch Grass	Container
SCH	110	#1	Schizochyrium scoparium	Little Bluestem	Container
SPD	100	#1	Sporobolus heterolepis	Prairie Dropseed	Container

Tree Key

- (OS) - Common Open Space tree
- (P) - Perimeter tree
- (PL) - Parking Lot tree
- (ST) - Street Frontage tree

Notes

Landscape materials shall be planted and maintained to provide minimum 8' clearance from the front of transformers, and minimum 3' clearance from sides and rear of transformers.



REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
08.25.16		Per City Comments			

LANDSCAPE PLAN

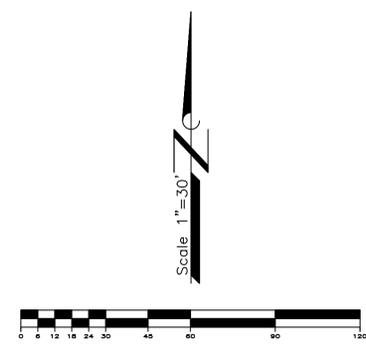
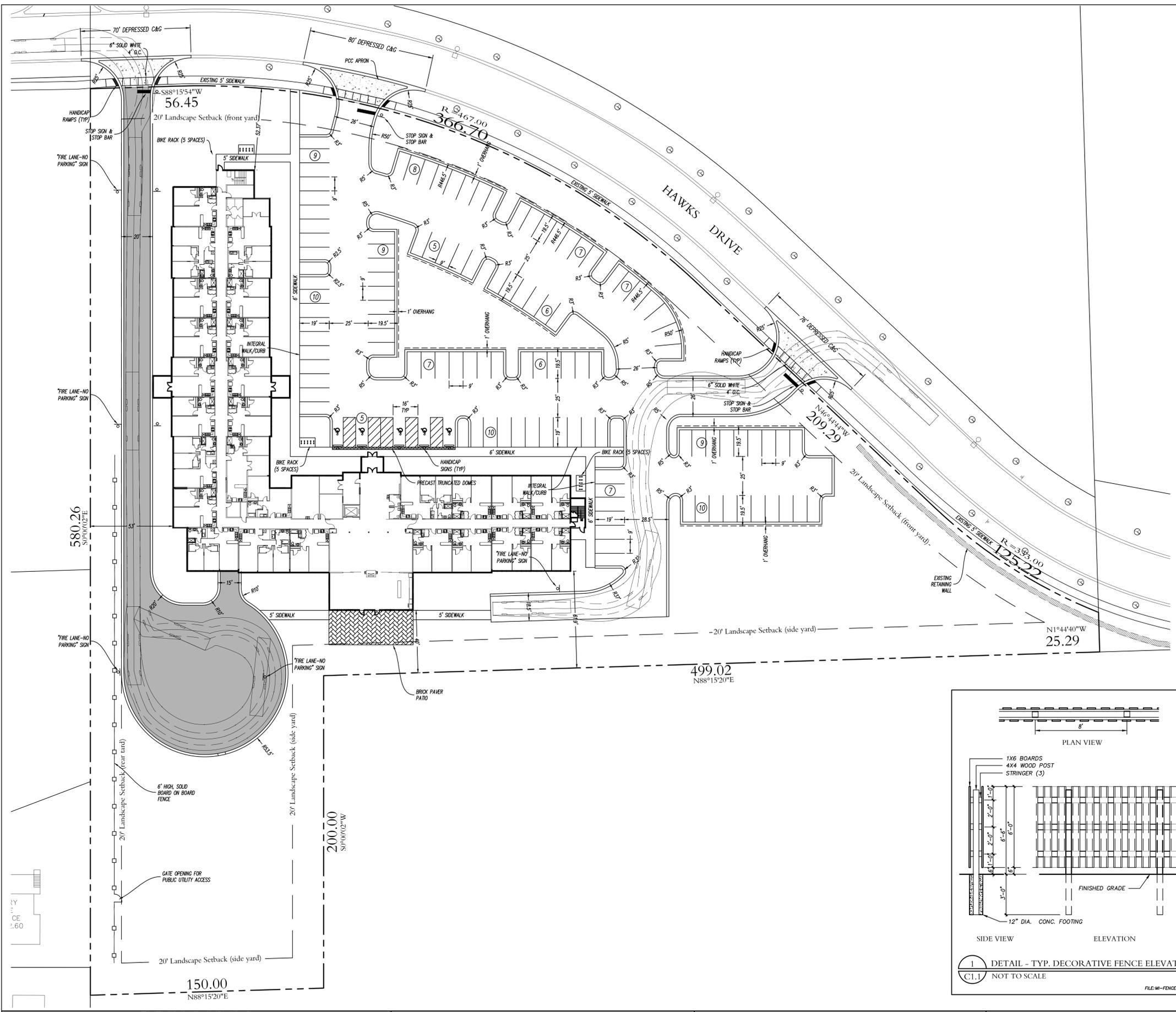
WINDMILL MANOR
2400 HAWKS DRIVE
BATAVIA, ILLINOIS

McCALLUM ASSOCIATES
DAVID R. McCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
350 N. Meade Ave. | Libertyville, IL 60150 | 847.302.2039

Craig R. Knoche & Associates • Civil Engineers
• Surveyors
• Land Planners
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

DATE	7/12/16
FILE	16-020 C20
JOB NO.	16-020

L1.1
SHEET NO.



SITE ANALYSIS

SITE

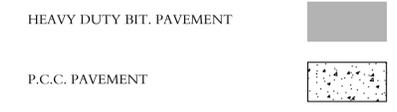
Proposed Use	Convenience Store/Gas Station (Service Station) & Carwash (Automotive Laundry)
Existing Zoning	R-5
Required Zoning	R-5 PUD
Parcel Area	195,796 sf 4.59 Acres
Building Area	29,495 sf Service Station 81 Units
Floor Area Ratio Req'd	0.15
Area Per Unit	2,418 sf / unit

SETBACKS

	Front Yard (Hawks)	Side Yard (West)	Side Yard (South)
Building Setback	40' Provided 52.4'	30' 40'	30' 40'
Green Space Setback	20' Provided 20'	20' 20'	20' 31'

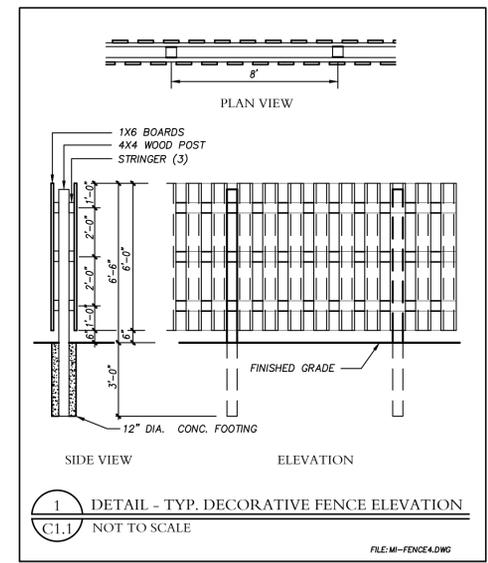
PARKING

Quantity Req'd	92 = 1.5 * 61 45 = 2.25 * 20 137 Required	1.5 Spaces per 1-bedroom 2.25 Spaces per 2+ bedrooms
Provided	115 = 110 Standard + 5 ADA	1.42 Spaces per unit
Stall Size Required	9' x 19' (Standard) Provided 9' x 19' (Standard), 16' x 16' (ADA)	
Driveway Width Minimum	14'-18" (single lane service drive/fire lane); 25' (w/ 90° parking) Provided 18" (single lane service drive/fire lane); 25' (w/ 90° parking)	



NOTES

1. ALL DIMENSIONS ARE BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE BACK OF CURB UNLESS OTHERWISE NOTED.
3. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
5. SIDEWALK AROUND PERIMETER OF BUILDING SHALL BE WALK/PAVEMENT UNLESS OTHERWISE STATED ON PLANS.
6. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION.
7. SEE DETAIL FOR BITUMINOUS AND CONCRETE PAVEMENT SECTIONS.
8. CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES DURING CONSTRUCTION OF ENTRANCE OF R.O.W. IN ACCORDANCE W/ ILLINOIS D.O.T. REQUIREMENTS.
9. ADA HANDICAP RAMPS SHALL BE INSTALLED AT ALL LOCATIONS DELINEATED ON PLANS AS WELL AS AT ALL LOCATIONS WHERE SIDEWALK ABUTS DRIVES OR ROADWAYS.
10. CONTRACTOR SHALL COMPARE ARCHITECTURAL AND ENGINEERING PLANS FOR INTERFACE COMPATIBILITY.
11. ALL CURB AND GUTTER SHALL BE B6:12 UNLESS OTHERWISE NOTED ON PLANS.
12. ALL DOWNSPOUTS LOCATED NEAR SIDEWALKS SHALL TIE INTO THE PROPOSED STORM SEWER SYSTEM.



REVISIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	8/25/16	PER CITY COMMENTS			

SITE PLAN

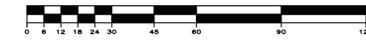
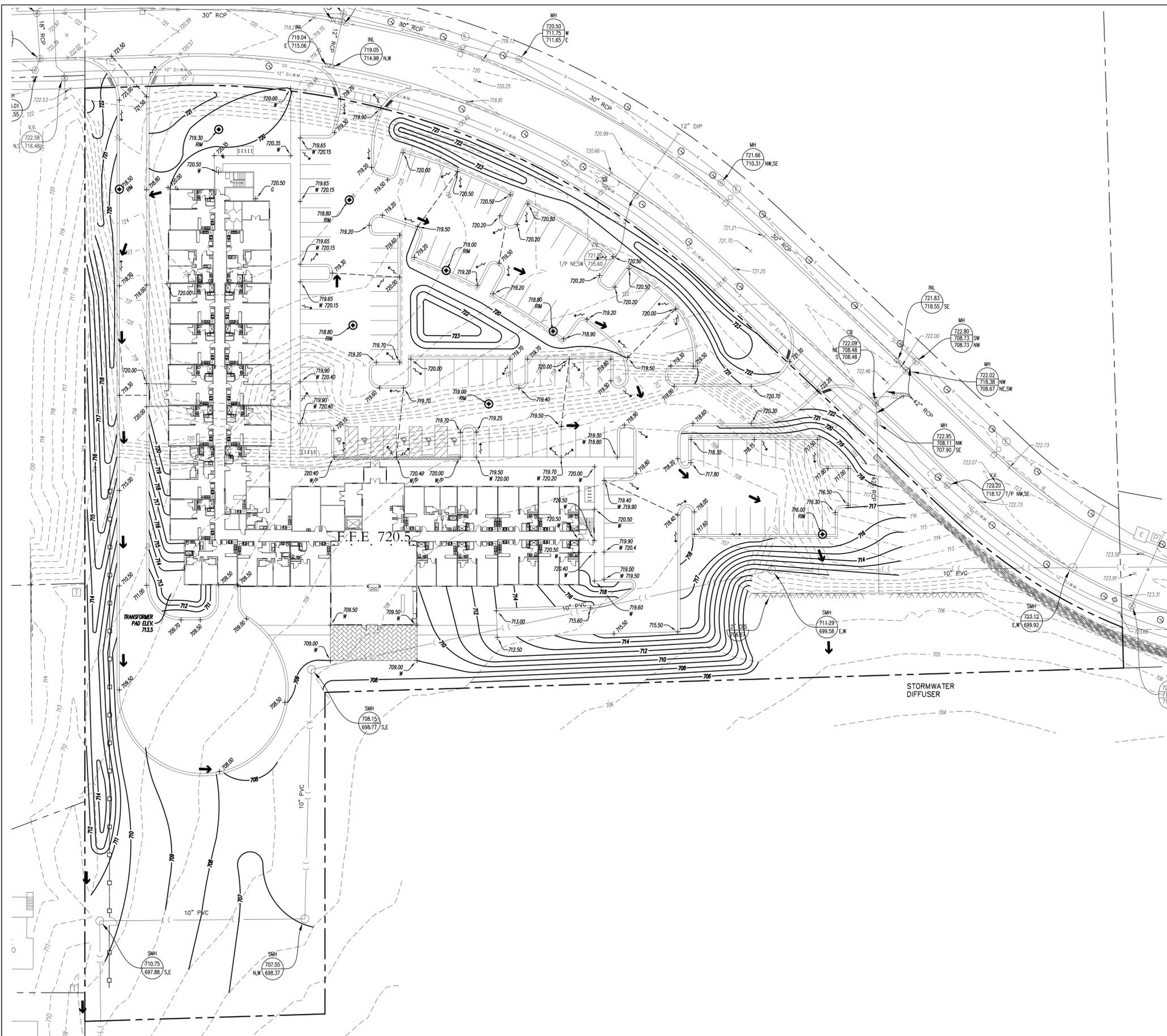
WINDMILL MANOR
2400 HAWKS DRIVE
BATAVIA, ILLINOIS

FILE: M-FENCE4.DWG

Craig R. Knoche & Associates Civil Engineers, P.C.
24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

DATE:	7/10/16	C1.1
FILE:	16-020 C10	
JOB NO:	16-020	
SHEET NO.		

BATAVIA, IL WINDMILL MANOR



LEGEND

	EXISTING	PROPOSED
PAVEMENT GRADE	+ 675.00	+ 675.00
WALK GRADE	+ 675.00	+ 675.00
GROUND GRADE	+ 675.00	+ 675.00
RM GRADE	+ 675.00	+ 675.00
CONTOURS	- 675	- 675

EMERGENCY OVERFLOW	
FLOW DIRECTION	
RIDGELINES	
REVERSE CURB	
PROPOSED CONTOURS	- 692

GRADING NOTES

1. GRADING CONTRACTOR SHALL VERIFY EXISTING CONTOURS AND NOTIFY ENGINEER OF ANY DISCREPANCIES, PRIOR TO STARTING CONSTRUCTION.
2. THE GRADING CONTRACTOR SHALL SPREAD SPOILS FROM UTILITY CONTRACTORS WORK TO THE EXTENT POSSIBLE.
3. THE GRADING CONTRACTOR SHALL REMOVE EXCESS SOIL FROM THE SITE.
4. EROSION CONTROL MEASURES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: SILT FENCE SHALL BE PLACED AND SHALL REMAIN IN PLACE AROUND EACH STORM STRUCTURE UNTIL CONSTRUCTION IS COMPLETED. SILT FENCE AROUND PERIMETER SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED. ALL INLET STRUCTURES SHALL BE PROTECTED WITH INLET BASKETS.
5. THE EXCAVATION CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN SUCH MEASURES UNTIL GRADING IS COMPLETE AND PARKING LOT IS PAVED.
6. THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE EROSION CONTROL DEVICES SHALL MAINTAIN ALL STORM WATER POLLUTION DEVICES THROUGHOUT CONSTRUCTION AND UNTIL ALL UNPAVED OR NON BUILDING AREAS HAVE A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OR GREATER. MAINTENANCE INCLUDES WEEKLY INSPECTIONS OR AN INSPECTION FOLLOWING A RAINFALL OF 1/2 INCH IN A 24-HOUR PERIOD. THE CONTRACTOR MUST SUBMIT A COPY OF THE INSPECTION REPORT TO THE OWNER AND ENGINEER AT THE END OF EACH MONTH AND KEEP A COPY OF THE REPORT ON THE CONSTRUCTION SITE UNTIL THE REQUIRED VEGETATION COVER IS IN PLACE.
8. IF ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN ON THESE DRAWINGS ARE REQUIRED TO STOP OR PREVENT EROSION OR ARE REQUIRED BY ANY AUTHORITY HAVING JURISDICTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL SUCH DEVICES. THE OWNER OR ENGINEER SHALL BE NOTIFIED OF THE ADDITIONAL WORK AND COST PRIOR TO INSTALLATION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER, IN WRITING, OF ANY ADDITIONAL SOURCES OF STORM WATER POLLUTION OBSERVED DURING CONSTRUCTION AND THE ADDITIONAL COSTS REQUIRED TO PREVENT ADDITIONAL POLLUTION.
10. ALL GRADES ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

DRAINAGE OVERLAY CERTIFICATE

STATE OF ILLINOIS } SS.
COUNTY OF DUPAGE }

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF; OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINAGE WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LAND OWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____ 2014

ILLINOIS REGISTERED PROFESSIONAL ENGINEER _____ OWNER OR ATTORNEY FOR OWNER _____

STATE REGISTRATION NUMBER _____

REVISIONS

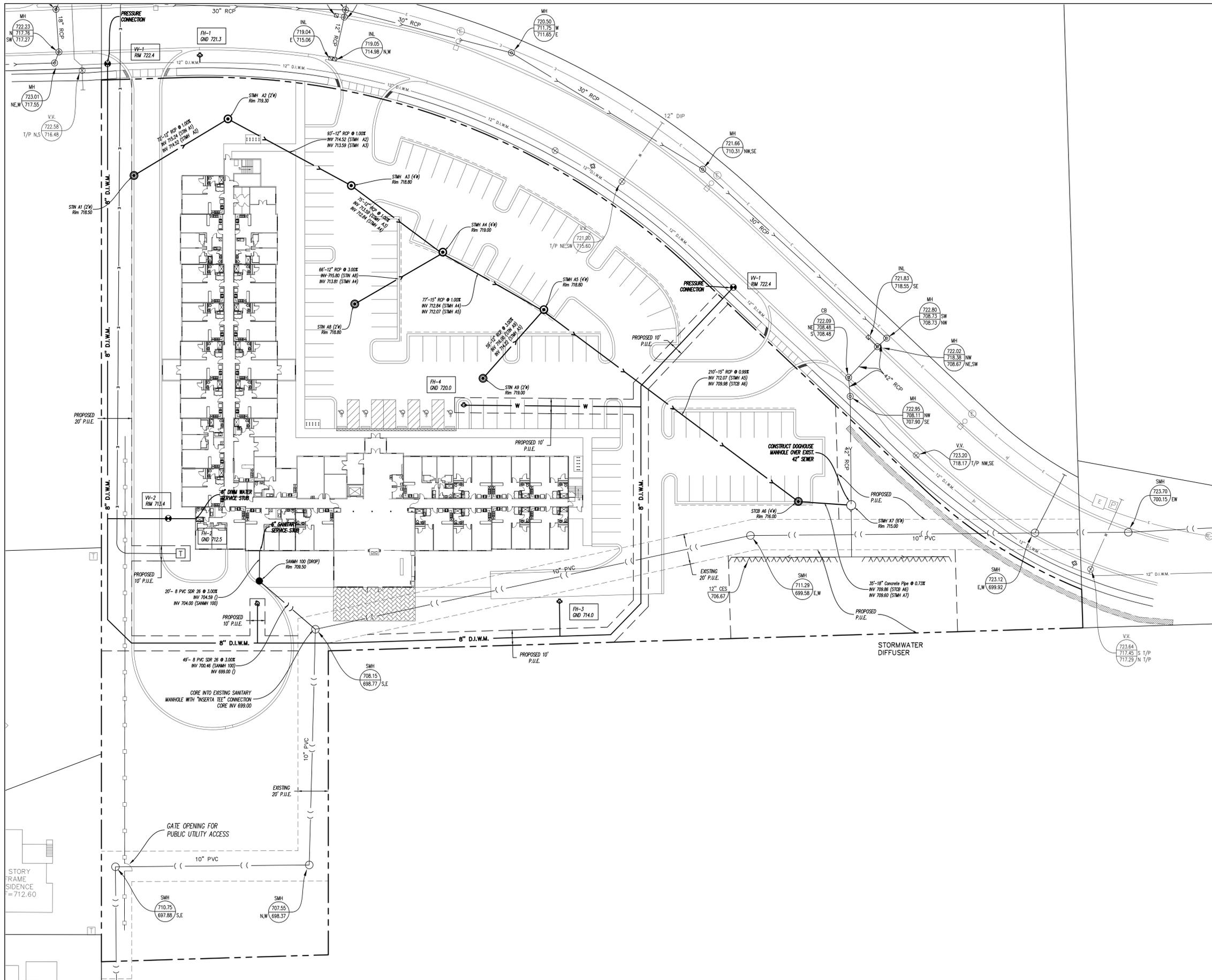
NO.	DATE	DESCRIPTION
1	8/25/16	PER CITY COMMENTS

GRADING PLAN

WINDMILL MANOR
2400 HAWKS DRIVE
BATAVIA, ILLINOIS

Craig R. Knoche & Associates
Civil Engineers
Surveyors
Land Planners

DATE: 7/11/16
FILE: 16-020 C20
JOB NO: 16-020
SHEET NO. C2.1



LEGEND

	PROPOSED	EXISTING
STORM SEWER		
SANITARY SEWER		
WATERMAIN		
ELECTRIC		
TELEPHONE		
GAS		
PROPOSED EASEMENT		
TRENCH BACKFILL		
STORM MANHOLE		
FLARED END SECTION		
SANITARY MANHOLE		
VALVE VAULT / B-BOX		
FIRE HYDRANT		
LIGHT POLES		

UTILITY NOTES

1. ALL WATERMAIN SHALL BE CLASS 52 DUCTILE IRON PIPE UNLESS OTHERWISE SPECIFIED. FITTINGS SHALL MEET ANWA C10 OR C15. VALVE SHALL MEET ANWA C509-87.
2. ALL SANITARY SEWER PIPE WITH A DEPTH LESS THAN 15 FEET SHALL BE SDR-26. ALL SANITARY SEWER PIPE WITH A DEPTH 15-20 FEET SHALL BE SDR-21. ALL SANITARY SEWER PIPE WITH A DEPTH 20-25 FEET SHALL BE SDR-18.
3. ALL STORM SEWER PIPE SHALL MEET DOT SPECIFICATIONS (ART. 550.03) FOR SELECTING THE PIPE CLASS. STORM PIPE MUST MEET ASTM C76 STANDARDS.
4. PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASINS, INLETS AND VAULTS SHALL MEET ASTM C48.
5. EXISTING UTILITIES SHOWN ARE FOR INFORMATION ONLY AND ARE NOT NECESSARILY EXCLUSIVE. CONTRACTOR SHALL VERIFY UTILITIES, ESPECIALLY PROPOSED TIE-INS TO EXISTING UTILITY STUBS, WHERE POSSIBLE AND NOTIFY ENGINEER OF DISCREPANCIES, EXCEPTIONS, OR OMISSIONS AS SOON AS POSSIBLE.
6. FRAME AND GRATE REQUIREMENTS:
 STORM STRUCTURE (PAVEMENT) - NEENAH R-2504 TYPE A
 STORM STRUCTURE (CURB) - NEENAH R-3015
 STORM STRUCTURE (GRASS) - NEENAH R-4340-B
 SANITARY STRUCTURE - NEENAH R-1712
 EXCEPTIONS TO ABOVE ARE NOTED ON PLANS.
7. NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES, EXCLUDING CURB STRUCTURES, SHALL HAVE INLET FILTERS INSTALLED. ALL INLET PROTECTION SHOULD BE IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN.
8. GENERAL CONTRACTOR SHALL VERIFY SPECIFIC SIZE AND LOCATION OF CONDUIT FOR GAS, ELECTRIC AND TELEPHONE PRIOR TO INSTALLATION.
9. ALL EXISTING DRAIN TILE LOCATED WITHIN THE SITE BOUNDARY SHALL BE REMOVED OR ABANDONED AS NECESSARY. ALL DRAIN TILE EXTERIOR TO SITE SHALL BE TIED INTO PROPOSED STORM LINE OR REROUTED TO MAINTAIN EXISTING DRAINAGE PATTERNS. IN PLACES WHEREBY THE PROPOSED WATERMAIN AND EXISTING ACTIVE DRAIN TILE CROSS, THE WATERMAIN SHALL BE INSTALLED WITH CASING 10 FEET ON EITHER SIDE OF CROSSING.
10. SANITARY PLUGS WILL BE REQUIRED DURING CONSTRUCTION AT ALL EXISTING MANHOLES WHERE PROPOSED CONNECTIONS ARE MADE AND AT THE FIRST MANHOLE OF EACH PROPOSED SANITARY LINE.
11. ALL SANITARY CLEAN-OUTS IN PAVEMENT SHALL HAVE VALCO CLEAN-OUTCOVERS
12. CONTRACTOR TO SEE LANDSCAPE AND IRRIGATION SPECIFICATIONS IN ARCHITECTURAL PLANS AND CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
13. CONTRACTOR SHALL INSTALL A CLEANOUT AT THE BUILDING ON ALL EXTERIOR DOWNSPOUTS.
14. CONTRACTOR SHALL SUPPLY ALTERNATE BID FOR HDPE STORM PIPE IN PLACE OF RCP PIPE.

REVISIONS

NO.	DATE	DESCRIPTION
1	8/25/16	PER CITY COMMENTS

UTILITY PLAN

WINDMILL MANOR
 2400 HAWKS DRIVE
 BATAVIA, ILLINOIS

Craig R. Knoche & Associates
 Civil Engineers, P.C.
 24 N. Bennett Street • Geneva, IL 60134 • phone (630) 845-1270 • fax (630) 845-1275

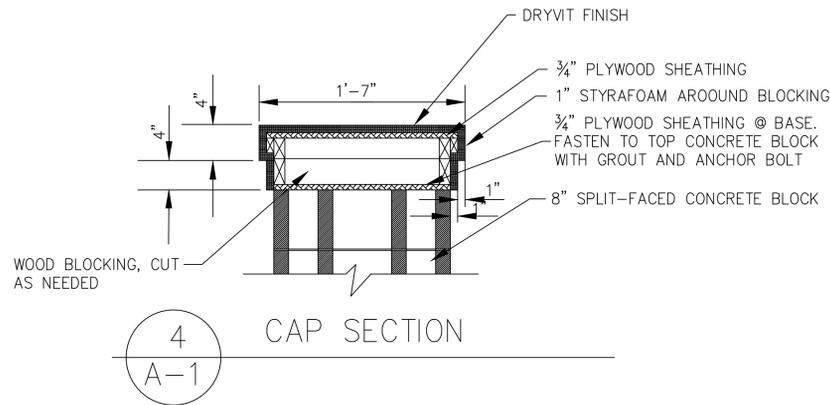
DATE: 7/11/16	C3.1
FILE: 16-020 C30	
JOB NO: 16-020	
SHEET NO.	

BATAVIA, IL
 WINDMILL MANOR

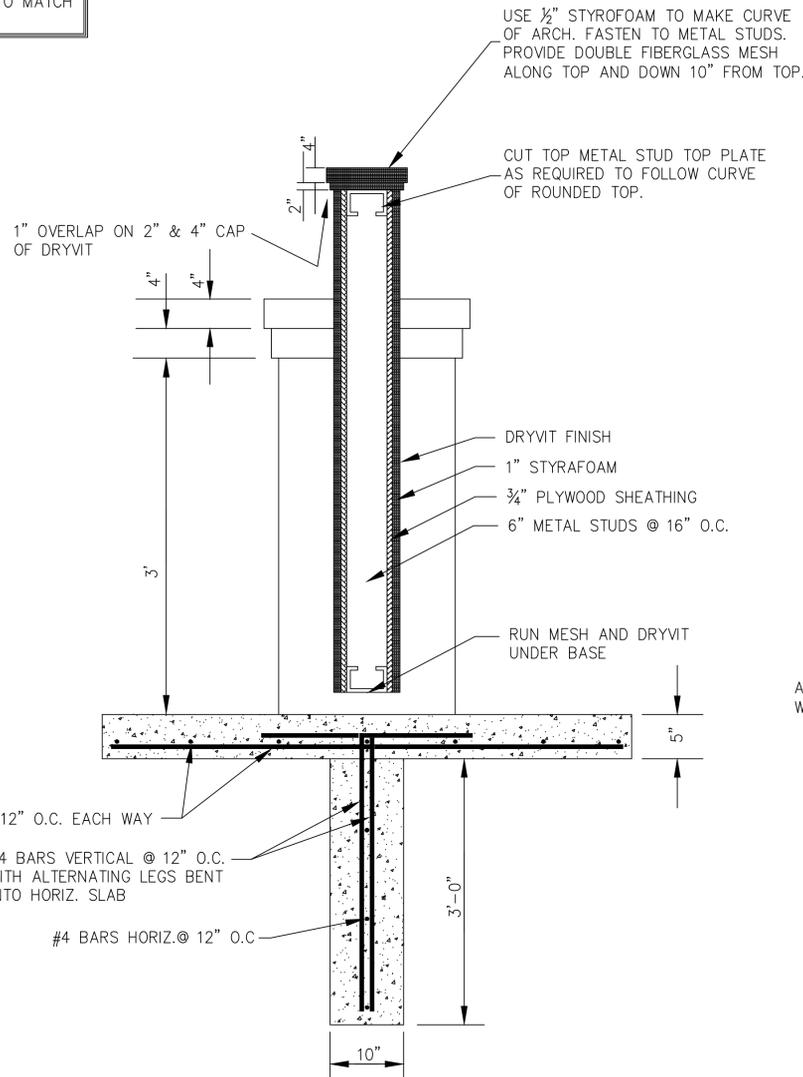
GENERAL NOTES

1. GENERAL CONTRACTOR SHALL PROVIDE INSURANCE CERTIFICATE TO OWNER.
2. ALL WORK SHALL BE DONE IN A PROFESSIONAL MANNER.
3. CONTRACTOR SHALL KEEP SITE CLEAN OF ALL LOSE MATERIAL.
4. CONTRACTOR SHALL SUPPLY OWNER WITH DRYVIT SAMPLES AND COLOR CHART. DRYVIT SHALL BE INSTALLED BY A LIC. DRYVIT CONTRACTOR.
5. ALL SHEATHING SHALL BE EXTERIOR GRADE PLYWOOD AND SHALL BE FASTENED SECURELY TO METAL STUDS.
6. TOP OF CONCRETE SLAB SHALL BE 4" ABOVE FINISHED GRADE. PROVIDE BROOM FINISH ON TOP OF SLAB.
7. MASONRY CONTRACTOR TO PROVIDE CONCRETE BLOCK SAMPLES FOR OWNERS REVIEW.
8. PROVIDE SAMPLES OF LETTERING AND PLAQUES TO OWNER.
9. ALL METAL STUDS SHALL BE 10 GA. GALVENIZED AND SHALL BE CUT TO FIT.
10. CONTRACTOR TO COORDINATE ALL WORK WITH OWNER AND BUILDING ENGINEER.
11. ALL WOOD BLOCKING SHALL BE TREATED LUMBER.
12. TOP OF GRADE SHALL BE SET AT 1'-0" ABOVE EXISTING GRADE. NEW ELEVATION SHALL EXTEND 18" OUT FROM FACE OF SLAB AND SHALL HAVE A 15% SLOPE OUT TO EXISTING GRADE.

ALTERNATE BID: IN LIEU OF DRYVIT CAPS ON PIERS, PROVIDE CUT STONE CAPS TO MATCH DIM. OF DRYVIT CAPS.

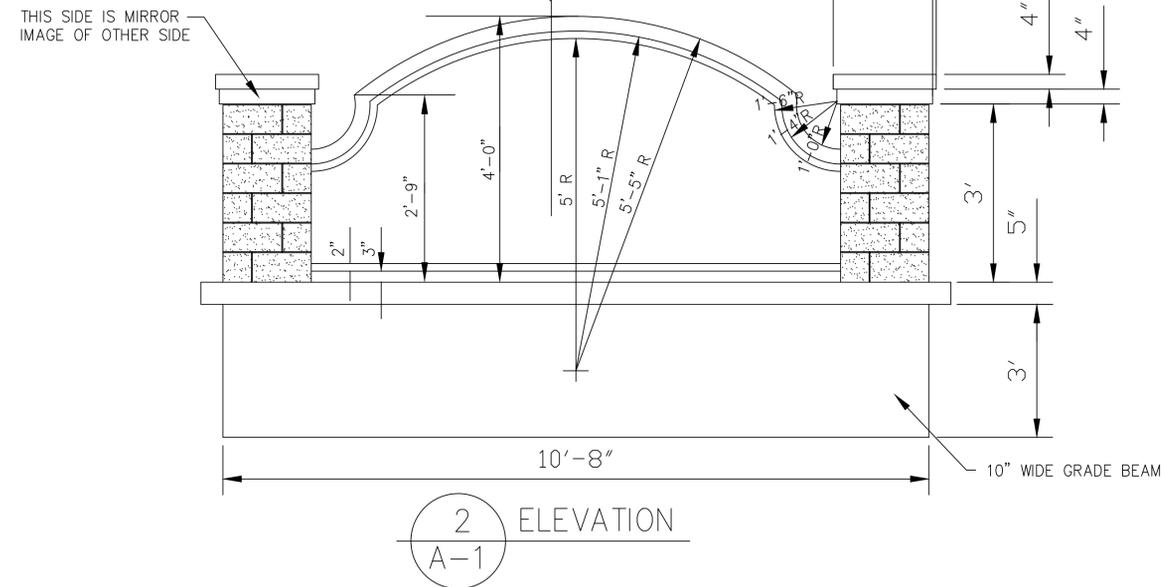


4 CAP SECTION
A-1

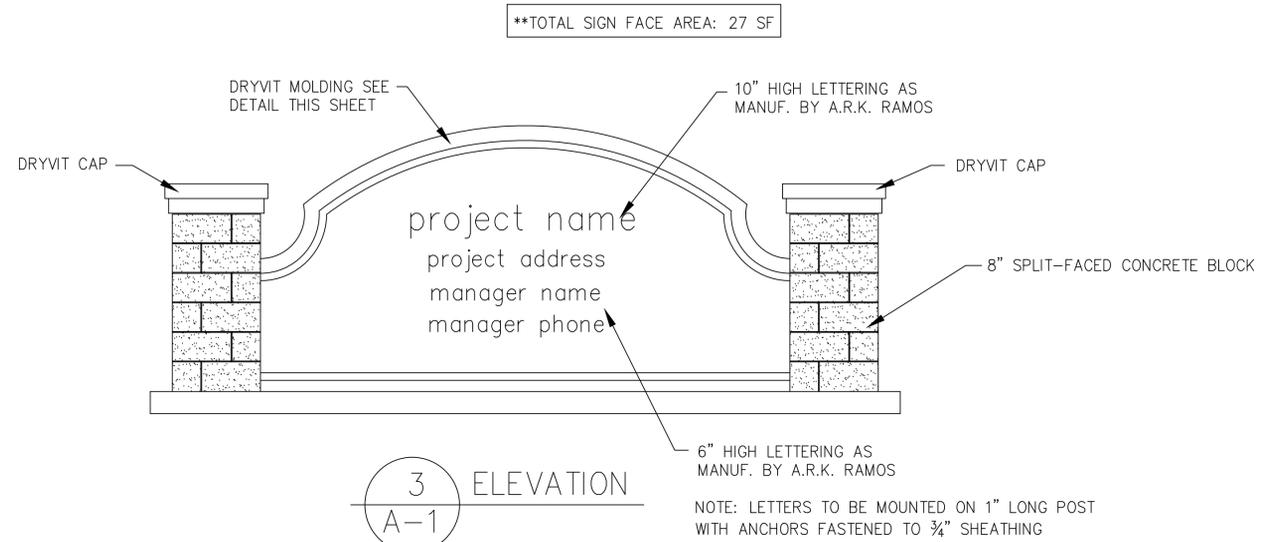


4 FOUNDATION SECTION
A-1

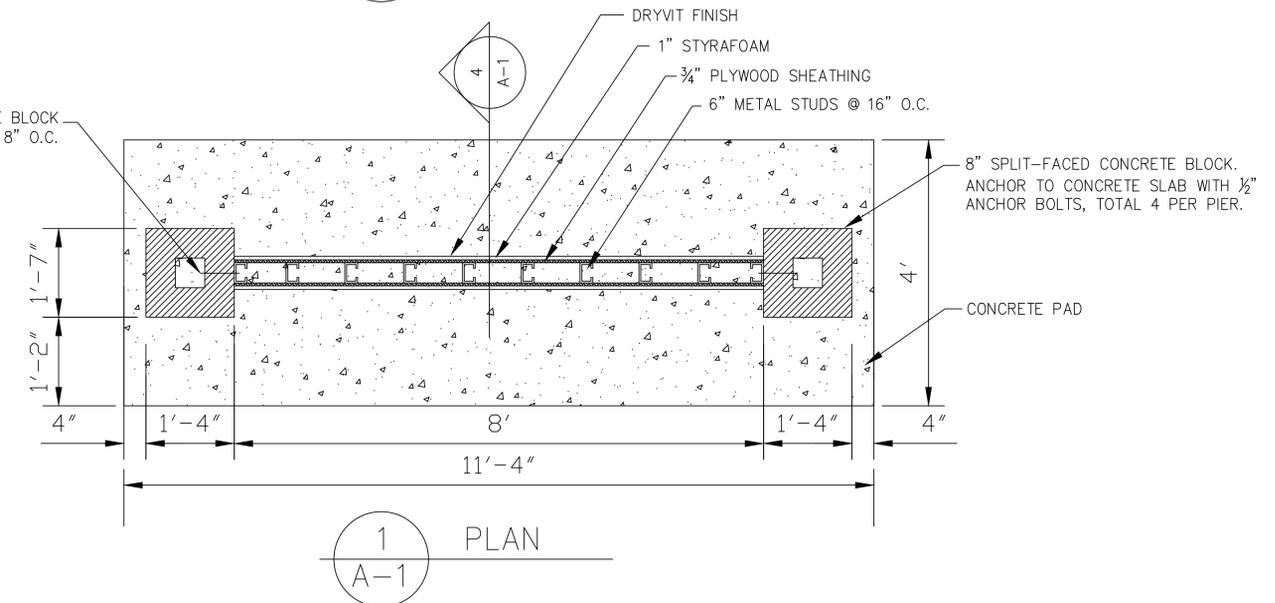
ANCHOR STUDS TO CONCRETE BLOCK WITH MASONRY ANCHORS @ 8" O.C.



2 ELEVATION
A-1



3 ELEVATION
A-1



1 PLAN
A-1

**TOTAL SIGN FACE AREA: 27 SF

NOTE: LETTERS TO BE MOUNTED ON 1" LONG POST WITH ANCHORS FASTENED TO 3/4" SHEATHING

REVISIONS
8-16-16

SHEET DESCRIPTION
 JOB NO.: 16200
 DATE: 15 MAY 16
 DRAWN BY: MS

Plat of Subdivision Windmill Manor

common address: 2400 Hawks Drive, Batavia, Illinois.

Ownwe's Certificate

State of Illinois }
County of Kane } S.S.

This is to certify that The Old Second National Bank of Aurora f/k/a Kane County Bank and Trust Company as Trustee under a Trust Agreement dated July 22, 1994 and known as Trust No. 923 is the owner of the lands shown and described in the annexed Plat and has, as such owner, caused the same to be surveyed, subdivided and platted as shown for the uses and purposes therein set forth and does hereby acknowledge and adopt the same under the style and title thereon shown. It is further certified that the platted lands fall within the boundaries of Geneva Community Unit School District 304.

dated at Aurora, Illinois this ____ day of _____, A.D.2016.

by: _____ attest: _____
(title) (title)

Notary's Certificate

State of Illinois }
County of Kane } S.S.

I, _____, a notary public in and for the County and State aforesaid do hereby certify that _____ and _____ of The Old Second National Bank of Aurora, as Trustee under Trust 923, who is personally known to me to be the same persons whose names are subscribed to the foregoing certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as being pursuant to authority given and as their free and voluntary act and as the free and voluntary act of The Old Second National Bank of Aurora as Trustee under Trust 923.

Given under my hand and notarial seal this ____ day of _____, A.D.2016.

notary public

Ownwe's Certificate

State of Illinois }
County of Kane } S.S.

This is to certify that The Old Second National Bank of Aurora f/k/a Kane County Bank and Trust Company as Trustee under a Trust Agreement dated July 22, 1994 and known as Trust No. 929 is the owner of the lands shown and described in the annexed Plat and has, as such owner, caused the same to be surveyed, subdivided and platted as shown for the uses and purposes therein set forth and does hereby acknowledge and adopt the same under the style and title thereon shown. It is further certified that the platted lands fall within the boundaries of Geneva Community Unit School District 304.

dated at Aurora, Illinois this ____ day of _____, A.D.2016.

by: _____ attest: _____
(title) (title)

Notary's Certificate

State of Illinois }
County of Kane } S.S.

I, _____, a notary public in and for the County and State aforesaid do hereby certify that _____ and _____ of The Old Second National Bank of Aurora, as Trustee under Trust 929, who is personally known to me to be the same persons whose names are subscribed to the foregoing certificate, appeared before me this day in person and acknowledged the execution of the annexed plat and accompanying instrument as being pursuant to authority given and as their free and voluntary act and as the free and voluntary act of The Old Second National Bank of Aurora as Trustee under Trust 929.

Given under my hand and notarial seal this ____ day of _____, A.D.2016.

notary public

City Engineer's Certificate

State of Illinois }
County of Kane } S.S.

I, _____, City Engineer of the City of Batavia, Illinois, hereby certify to the best of my knowledge and belief that the land improvements dedicated in the hereon plat and plans and specifications thereof meet the minimum requirements of said City.

dated at Batavia, Illinois this ____ day of _____, A.D.2016.

by: _____
(City Engineer)

City Council's Certificate

State of Illinois }
County of Kane } S.S.

Mayor and City Council of the City of Batavia, Illinois hereby certify that said council has duly approved this Plat of Subdivision attached hereto by ordinance _____, duly authenticated and passed this ____ day of _____, A.D.2016.

by: _____
(Mayor)

attest: _____
(City Clerk)

Plan Commission's Certificate

State of Illinois }
County of Kane } S.S.

I, _____, Chairman of the Plan Commission of the City of Batavia, Illinois, hereby certify that the said Commission has duly approved this Plat of Subdivision attached hereto this ____ day of _____, A.D.2016.

by: _____
(Chairman)

County Clerk's Certificate

State of Illinois }
County of Kane } S.S.

I, John A. Cunningham, County Clerk in and for the County and State aforesaid find no redeemable tax sale, unpaid forfeiture taxes or unpaid current taxes against any of the land included in the plat. I further certify that I have received all statutory fees in connection with the plat.

Given under my hand and the seal of the county this ____ day of _____, A.D.2016.

County Clerk

Recorder's Certificate

State of Illinois }
County of Kane } S.S.

This instrument, no. _____, was filed for record in the Recorder's Office of Kane County, Illinois this ____ day of _____, A.D.2013 at ____ o'clock ____ m., and was recorded in plat envelope no. _____.

Recorder of Deeds

State of Illinois }
County of DuPage } S.S.

This is to certify that I, John Cole Helfrich, an Illinois Professional Land Surveyor, have surveyed, subdivided and platted for the uses and purposes therein set forth the following described lands:
That part of the northeast quarter of Section 17, Township 39 north, Range 8 east of the Third Principal Meridian described as follows: commencing at the southwest corner of said northeast quarter; thence N0°00'02"W along the west line of said northeast quarter, 250.00 feet for the point of beginning; thence N88°09'58"E, 150.00 feet; thence N0°00'02"W, 200.00 feet; thence N88°15'50"E, 499.02 feet to the southwest corner Fabyan Randall Subdivision as platted by Document 2003K037410; thence N1°44'40"W along the west line of said Subdivision, 25.29 feet to the south line of South Drive as dedicated by Document 2003K080053; thence northwesterly along the south line of said South Drive, being a circular curve having a radius of 333.00 feet concave to the northeast, the chord of which bears N57°31'03"W, 125.21 feet; thence N46°44'44"W along said south line, 209.29 feet; thence northwesterly along said south line, being a circular curve having a radius of 467.00 feet concave to the southwest, the chord of which bears N69°14'25"W, 366.70 feet; thence S88°15'54"W, 56.40 feet to the west line of said northeast quarter; thence S0°00'02"E along said west line, 580.41 feet to the point of beginning in the City of Batavia, Kane County, Illinois.

All dimensions are given in feet and decimal parts thereof.

I further certify that the lands described above lie within the corporate limits of the City of Batavia, Illinois which has authorized a comprehensive plan and is exercising the special powers authorized by Division 12 of Article 11 of the Illinois Municipal Code.

This also declares that the Federal Emergency Management Agency FIRM Community Panel 17089C0326H, with an effective date of August 3, 2009 indicates that the above described property lies within an area designated as Zone X. Zone X is defined as "areas determined to be outside the 0.2% annual chance floodplain."

Given under my Hand and Seal this ____ day of _____, A.D.2016.

Illinois Professional Land Surveyor 2967
exp. 11-30-16



PUBLIC UTILITY AND DRAINAGE EASEMENT (P.U.D.E.) PROVISIONS

A perpetual easement is hereby reserved for and granted to the City of Batavia, an Illinois municipal corporation, and those public utility and other companies operating under franchise agreements granting them rights from the City of Batavia, including but not limited to, Commonwealth Edison Company, AT & T, Nicor Gas Company, and Comcast Cable Communication, Inc., together with their respective successors and assigns (the "Grantees"), for the installation, modification, construction, reconstruction, replacement, alteration, enlargement, operation, inspection, repair, maintenance, relocation, renewal and removal of facilities, improvements and appurtenances to serve these and other lands with various public utilities transmission and distribution systems, including without limitation, from time to time, electricity, sounds and signals, cable television, communication, telephone, gas pipelines, water pipelines, storm and sanitary sewers, storm water detention and retention facilities, and storm water drainage, together with any and all necessary lines, cables, mains, manholes, hydrants, catch basins, connections, pipes, appliances, and other structures and appurtenances as may be deemed necessary, in, across, along, over, under, and upon the areas hereon identified as "Public Utility and Drainage Easement" (P.U.D.E.); together with the right to install required service connections under the surface of each lot to serve improvements thereon; and together with the right to enter upon the property with such personnel and equipment as may be deemed necessary for all such uses and purposes.

No obstruction or structure shall be erected or located, nor shall any trees be planted, over said easement areas, nor shall any other activities be undertaken that unreasonably interfere with the Grantees' intended use thereof, but the same may be used for landscaping, fencing, parking or other purposes if such use does not then or later interfere with the aforementioned purposes.

The right is also hereby granted to the City of Batavia to remove any fences, buildings or structures and to cut down, trim or remove any trees, shrubs, bushes, roots or other plantings that interfere with the operation of or access to such facilities in, on, upon, across, under or through said Public Utility and Drainage Easement. The City of Batavia shall not be responsible for the replacement or repair of any such fences, buildings, structures, trees, turf, gardens, shrubs, landscaping, or other improvements removed during the exercise of the herein given rights. Replacement and/or repair of said items shall be the responsibility of the then property owner.

Following any work to be performed by the City of Batavia in the exercise of its easement rights herein granted, said City shall have no obligation with respect to surface restoration, including by not limited to, the restoration, repair or replacement of pavement, curb, gutters, fences, sheds, trees, lawn or shrubbery, provided, however, that said city shall be obligated, following such maintenance work, to backfill and mound all trench created so as to retain suitable drainage, to cold patch any asphalt or concrete surface, to remove all excess debris and spoil, and to leave the maintenance area in a generally clean and workmanlike condition. The City has no obligation to repair any improvements that were completed without obtaining the necessary permits prior to installation.

The occupation and use of the perpetual easement herein granted and reserved for the Grantees by each of such entities shall be done in such a manner so as not to interfere with or preclude the occupation and use thereof by other entities for which such easements are granted and reserved. The crossing and re-crossing of said easements by the Grantees shall be done in such a manner so as not to interfere with, damage, or disturb any transmission and/or distribution systems and facilities appurtenant thereto existing within the easements being crossed or re-crossed.

Where the easement areas are also used for electric, telephone, cable TV, gas distribution systems or their appurtenances, such other utility installations shall not interfere with the maintenance of gravity or subsurface flow and stabilization of vegetative ground cover on the above-mentioned drainage facilities, or cause any change in grade, or impair or change the surface drainage patterns of the property.

Plat of Subdivision

Prepared for:



Craig R. Knoche & Associates
Civil Engineers, P.C.

• Civil Engineers
• Surveyors
• Land Planners

Date: 8-14-16

File: 16-020R.P2

Job: 16-020

Sheet

2

of

2

24 North Bennett Street • Geneva, Illinois 60134 • phone (630) 845-1270 • fax (630) 845-1275



PL948063 - One Light Outdoor Wall Lantern by Thomas Lighting

Specs

Depth/Extension: 4.50"

Height: 9.00"

Height from Center:	5.00"
Width/Diameter (in):	5.75"
# of Bulbs:	1
Standard Wattage:	13W
Bulb Type:	Fluorescent
Bulbs Included:	Yes
Voltage Rating:	120V
Material:	Aluminum
Optional Finishes:	Yes
Weight:	2.00 lbs.

Styles and Options

Style: Painted Bronze Finish with Etched Glass

Item #: PL948063

Price: Listed Price: \$62.00
On Special: \$49.60

Option: PL948063,

 [View UL Rating details.](#)



CITY OF BATAVIA

DATE: September 14, 2016
TO: Plan Commission
FROM: Joel Strassman, Planning and Zoning Officer
SUBJECT: PUBLIC HEARING: Amendments to the Official Zoning Map from R0 Single Family Residential to POS Parks & Open Space District for Prairie Path Properties Between Wagner Road/Larkspur Lane and River Street
City of Batavia, applicant

Background

A public hearing was scheduled for the August 17 Plan Commission meeting; the hearing was continued to September 21. The purpose of the hearing is to review proposed Zoning Map amendments for several now unincorporated properties that contain parts of the Illinois Prairie Path adjacent to Batavia's corporate limits. These properties are located between Wagner Road/Larkspur Lane and River Street. Please see the attached map (*Zoning Map Amendment for Illinois Prairie Path*) for the area proposed to be rezoned.

City staff has been working with the Kane County Forest Preserve District staff to negotiate an annexation agreement for the properties in question. The draft agreement specifies that the City would place the properties in the POS Parks and Open Space zoning district to coincide with City's annexing the properties. The Plan Commission must first recommend, and the City Council must approve the appropriate amendments to the Zoning Map as part of the annexation of these properties. No change in the design or use of these properties is contemplated with annexation and the zoning district change. The properties have been and will continue to be used for portions of the Prairie Path.

In addition to other Prairie Path properties, many Batavia properties adjacent to the Prairie Path that would become zoned POS are single family or stormwater properties. Rotolo Middle School (zoned PFI Public Facilities and Institutional) and some of its Batavia Park District owned athletic fields (zoned POS) are also adjacent to subject properties. A number of privately-owned unincorporated properties, including River Hills Memorial Park, abut the subject properties.

Staff Analysis

The Comprehensive Plan [Land Use Map](#) classifies the subject properties as Parks and Open Space. The proposed POS zoning district for these properties conforms to this classification.

The Comprehensive Plan's [Parks and Open Space Element](#) Goal 1 seeks to provide an abundant supply of parks and open spaces. One policy of this goal is to involve the Forest Preserve District in annexation proposals. Goal 4 seeks to maintain and enhance existing park and open space facilities via the policy of participating in planning activities to protect the open spaces. The current effort the City is undertaking with Kane County to annex and zone the subject properties directly furthers these goals and is consistent with these stated policies.

[Land Use Element](#) Goal 1 seeks to keep Batavia as an attractive place to play with a balance of land uses. [Environment Element](#) Goal 1 stresses protecting and enhancing the region's land resources. The Prairie Path is an open space facility and resource that not only serves Batavia, but serves many parts of Kane, DuPage, and Cook counties.

The POS zoning district is the district that allows land uses consistent with a public trail open space use such as the Prairie Path. POS zoning would ensure that the Prairie Path in the City of Batavia continues to be an open space facility, and restricts any proposed future development of the properties to only amenities associated with open space use.

Findings

The Plan Commission must review and approve the following Findings with a Zoning Map Amendment. Staff has provided information relative to each Finding for the Commission to consider.

Public Notice. All required public notice has been conducted in accordance with applicable state and local laws;

Finding: City staff executed the notice mailing and posting of the property pursuant to City Code. Letters were sent to proximate property owners on July 27, and Notice was published in the Daily Herald on July 29, 2016. These notices advertised the August hearing that was continued to September 21. Signs advertising the September 21 hearing were placed on the properties by September 2.

Public Meetings and Hearings. All required public meetings and hearings have been held in accordance with applicable state and local laws.

Finding: On August 17, the Plan Commission opened and continued the hearing to September 21. The continuance was due to incomplete property notice posting. With the Commission's conducting the hearing in accordance with State and local law on September 21, this finding will be met.

Conformance to the Comprehensive Plan. The extent to which the proposed amendment to the Official Zoning Map conforms generally to the goals and policies of the Comprehensive Plan and Comprehensive Plan Land Use Map.

Finding: The proposed amendment to the Zoning Map is consistent with several goals and policies of the Comprehensive Plan, by placing the property in a zoning category most appropriate for the present use of the properties. The proposed POS District matches the Comprehensive Plan Land Use Map designation of Parks and Open Space for the properties.

Review of Conditions

1. Is the proposed zoning district and the development it allows compatible with the existing uses and zoning of nearby property?

Finding: The proposed POS District will allow the existing use of the property as the Illinois Prairie Path to continue. This use has been compatible with uses and zoning of nearby properties.

2. Is there evidence to suggest that property values will be diminished by the particular zoning restriction changes?

Finding: There is no evidence to suggest that property values will be diminished by the proposed POS District for the subject properties.

3. If any property values are diminished, does the diminishment promote the health, safety, morals, or general welfare of the public?

Finding: While there is no evidence to suggest any diminishment, the health, safety, morals and general welfare will be promoted by placing the properties under a Zoning District narrowly tailored to their present use.

4. Does the proposed zoning change provide a greater relative gain to the public as compared to the hardship imposed on the individual property owner?

Finding: The zoning change will provide greater gain to the general public by placing the most appropriate use rights and limitations on public open space properties such as the Illinois Prairie Path. The general public benefits from use of these properties as open space.

5. Is the subject property is suitable for the zoned purpose?

Finding: The properties and their existing use are suitable for the zoned purpose.

6. Has the length of time the property has been vacant as zoned been excessive, considering the context of land development in the area in the vicinity of the subject property?

Finding: The properties have already been developed and have been continuously used as open space. There has not been any vacancy.

7. Is there a community need for the proposed zoning or use?

Finding: The continued use of the parcel as open space provides and fulfills an important community and regional need for trails in northeastern Illinois.

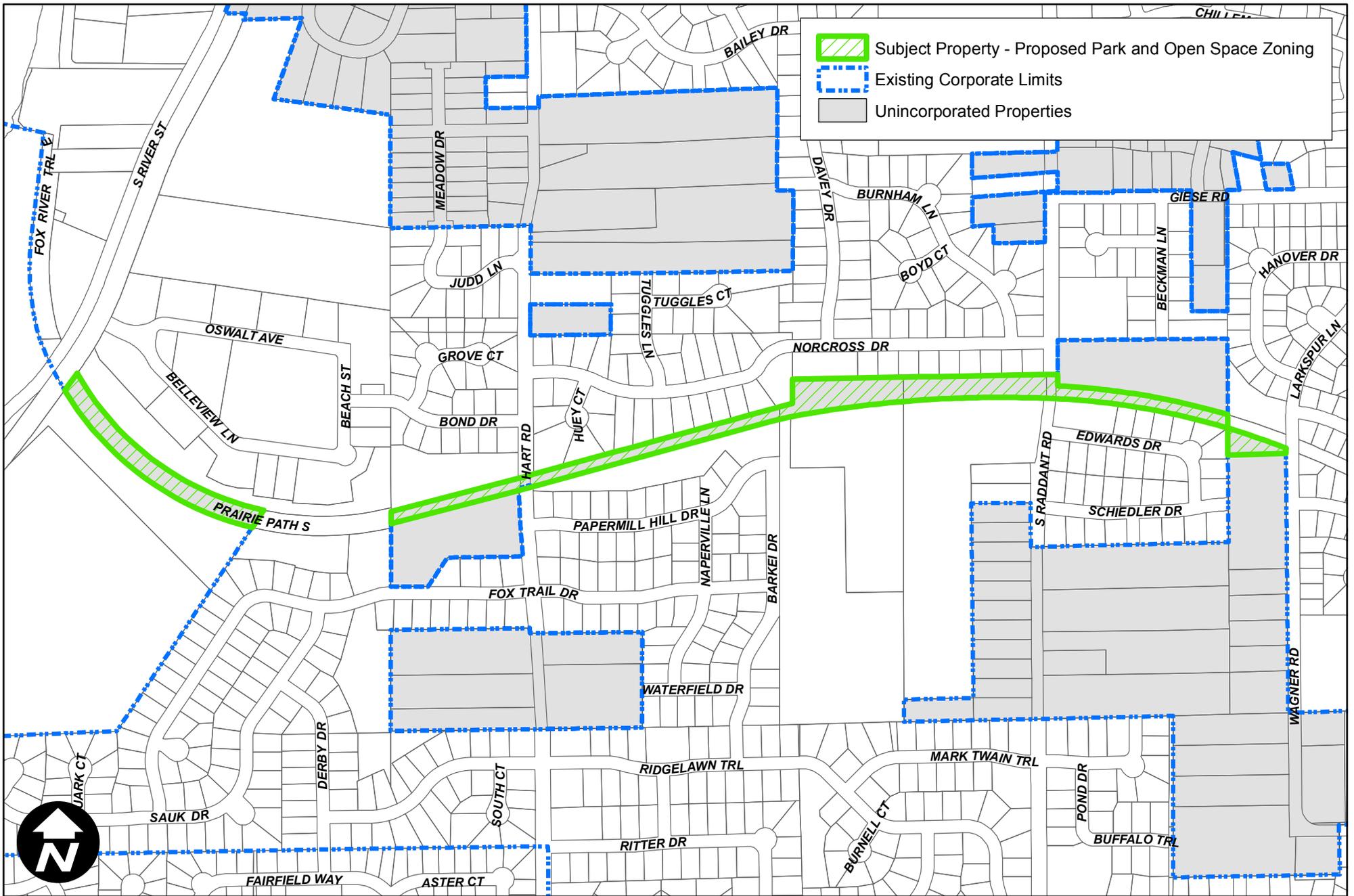
Staff Recommendation

Staff recommends the Plan Commission take the following actions:

1. Open and conduct a public hearing for the proposed zoning map amendments.
2. Approve Findings for Approval.
3. Recommend approval of amendments to the Official Zoning Map to classify the subject properties POS Parks and Open Space upon annexation.

Attachment: Zoning Map Amendment for Illinois Prairie Path

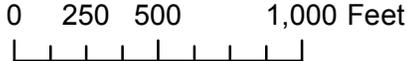
c Mayor and City Council
Department Heads
Media



Maps and data provided by the City of Batavia are not intended to have, nor do they have, the accuracy of surveys or legal descriptions of land areas. GIS data obtained from the City of Batavia is intended for representational use only. Reliance on such maps and data is at the risk of the recipient. This information, in either electronic or map form, is provided "as is." No warranty expressed or implied is made regarding the accuracy, timeliness, or completeness of the data, nor shall the act of distribution constitute any such warranty. This disclaimer applies both to individual use of the data and aggregate use with other data.



Zoning Map Amendment for Illinois Prairie Path



CITY OF BATAVIA

DATE: September 16, 2016
TO: Plan Commission
FROM: Joel Strassman, Planning and Zoning Officer
SUBJECT: Administrative Design Review to Change Retaining Wall Material
Dunkin' Donuts Drive Through, 108 N. Batavia Ave.
Harry Mehta, HM1 Batavia, LLC, applicant

Background

In March, the City Council approved [Ordinances 16-09 and 16-10](#) to allow a Dunkin' Donuts drive through to be added to the Shell Gas Station at 108 North Batavia Avenue. On April 6, the Plan Commission approved the [design review](#) subject to additional landscaping added near the southeast corner of the retaining wall and wall-top metal panel height specification. The applicant Mr. Harry Mehta, returned to the Commission on June 15 [proposing modifications to the approved design review for fencing, and a minor relocation of the retaining wall and use of blocks at the ends of the wall.](#)

In developing final engineering, Mr. Mehta concludes that constructing the entire wall of block material can better address staff concerns regarding constructing the wall. Mr. Mehta notes block wall construction requires less excavation and would be more aesthetically pleasing. Mr. Mehta informs staff that the location of the wall will remain as previously approved, amount of the block wall exposed would be the same as the approved wall, and there would be no change to the approved landscape plan.

Staff Analysis

Staff feels that a change to the proposed block wall may address concerns associated with site excavation, however we have not yet seen site or engineering plans that would show how this wall would be built. Staff would need to review and approve the engineering plans and building permit proposing this wall.

Staff feels that integrally colored block material, similar to the building's brick color, would better fit the site, and staff communicated this opinion to Mr. Mehta. Mr. Mehta informed staff that to meet his Dunkin' Donuts opening deadline, delivery of the colored block would take too long. He will instead be proposing a block wall that will have a gray color that is similar to other nearby concrete and block walls.

Staff Recommendation

Staff recommends the Plan Commission review the retaining wall change proposing block material. In reaching a decision, the Commission can consider whether the material fits the context of the site and whether a color other than the proposed gray should be used. The Commission may approve the block material as presented or condition an approval on a specific material and/or color. The Historic Preservation Commission also must approve the proposed change.

Attachments

1. Letter of Explanation
2. Block material information
3. Site Plan

c Mayor and City Council
Department Heads
Applicant
Media



City of Batavia
Community Development Department
100 North Island Avenue
Batavia IL 60510
Phone (630) 454-2700

Administrative Design Review Application

Project Information:

Project Name: SHELL DRIVE THRU LANE-SITE IMPROVEMENTS

Project Address/Location: 108 NORTH BATAVIA AVE., BATAVIA, IL - 60510

Historic District: Yes No

Applicant Name: <u>HM1 BATAVIA LLC</u>	
Applicant Address: <u>108 NORTH BATAVIA AVE., BATAVIA, IL - 60510</u>	
Applicant Phone: <u>708-985-5020</u>	Applicant E-mail: <u>HARRYNM@GMAIL.COM</u>
Signature of Applicant:  <u>Harry Mehta (President)</u> HM1 Corporation	Signature Date: <u>09/14/2016</u>

Property Owner: <u>HM1 BATAVIA LLC</u>	
Owner Address: <u>108 NORTH BATAVIA AVE., BATAVIA, IL - 60510</u>	
Owner Phone: <u>708-985-5020</u>	Owner E-mail: <u>HARRYNM@GMAIL.COM</u>
Owner Signature*:  <u>Harry Mehta (President)</u> HM1 Corporation	Signature Date: <u>09/14/2016</u>

*A signed letter by the owner authorizing the applicant to apply for Design Review may be submitted in lieu of signing this form.

Administrative Design Review Type			
<input type="checkbox"/> Sign	<input type="checkbox"/> Screening Fence	<input type="checkbox"/> Design Review Modification	<input type="checkbox"/> Other: _____

Application Information:

- Provide Two (2) Copies of all drawings. Drawing must also be submitted electronically in PDF format
- All Submittals shall be designed in compliance with the Plan Commission's Standard Design Guidelines for Commercial and Industrial Projects and the Standard Design Guidelines for Multi-Family Projects.
- Application shall include the required submittal fee as required by Title 3, Chapter 20 Section 2 of the Municipal Code

Office Use Only:
Filing Date: <u>9-14-16</u>
Approval Date: _____
LAMA Case: <u>16-050</u>
Fee Paid: <u>\$ 250.00</u>

Finding: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> with Conditions (attached)
_____ Signature of Planning and Zoning Officer or Designee



Shell of Batavia

SHELL OF BATAVIA
108 NORTH BATAVIA AVE.
BATAVIA, IL – 60510

September 14, 2016

RE: Administrative Design Review

To Whom It May Concern:

We are requesting city to allow us to change the retaining wall design from the concrete wall to the segmental block wall.

Reason for this change is to eliminate the concerns, which have been brought up by the city engineer during the review process with respect to the design and the constructability of the current retaining wall.

Switching form the concrete to the segmental block wall eliminates almost all the concerns, since excavation will be minimum.

Segmental block wall is also aesthetically more pleasing and properties on the east and south both has segmental blocked walls.

Thank you.

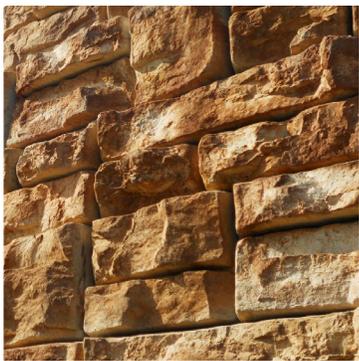
Sincerely,

A handwritten signature in black ink, appearing to read 'H. Mehta', is placed above the typed name.

Harry Mehta (President)
HM1 Corporation



The LedgeStone texture is available on any Redi-Rock® block. That means you can create a retaining wall, top it with a freestanding wall, and accent it with columns. Beautiful!



REDI-ROCK TEXTURE:

LEDGESTONE

Strong. Rugged. Handsome. What, you don't have those thoughts about retaining walls?

Well, we do. At Redi-Rock, we like retaining walls to look great while doing the hard job of holding back the earth. We painstakingly sought out world-class stone to create molds that give these blocks their classic stone aesthetics.

Redi-Rock LedgeStone blocks give projects a random, stacked stone look. Because they're made using architectural-grade precast concrete, the level of detail in the texture is outstanding.

LedgeStone Block Specifications

- Trapezoidal shape allows convex and concave radii
- 5.5 inch (140 millimeter) deep texture
- Colors can be formulated based upon local region
- Ten individual face molds offer up to 115 square feet (10.5 square meters) of non-repeating patterns
- Wet-cast concrete gives a greater level of detail and durability



Proposed Stone Color Grey

Regional colors and coordinating accessories are available. Contact your local Redi-Rock retailer or visit redi-rock.com to learn more about the Redi-Rock LedgeStone face today!



19.5 Foot (6 Meter) Gravity Wall Creates Access For FBI Headquarters

The Challenge

When the FBI was relocating its division headquarters near Cincinnati, the terrain at the new site included extreme grade changes, making for some challenging planning for an access road to the site. The road was slated for a tight space between an existing residential neighborhood and a major office building, which would require a 700 foot (213 meter) long retaining wall.

The Solution

“Sycamore Township chose Redi-Rock because we had a limited amount of space; we did not want to cut back behind the wall for tie-ins and we didn’t want to lose trees that were buffering the neighbors from the

project,” explained Tracy Kellums, Superintendent for Sycamore Township.

Redi-Rock is known for building tall gravity walls using massive, one-ton blocks to get the job done, but this 19.5 foot (6 meter) tall wall gave engineers the chance to show just what Redi-Rock blocks are really capable of.

To reach the required 19.5 feet (6 meters) with a gravity wall, engineers at URS utilized several unique components of the Redi-Rock system to achieve a custom solution for the project without the need for geogrid reinforcement or anchors. The design began with six to eight courses of the 60-inch base blocks, continued with

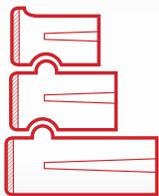
9-inch setback blocks, and finished with 41-inch blocks and 28-inch blocks.

In total, the 8,000 square foot (743 square meter) wall was installed in less than three weeks, using a piece of heavy machinery and a small crew.

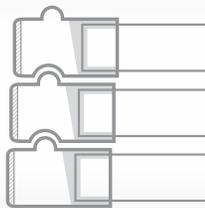


Project: Ronald Reagan Drive Project **Customer:** Sycamore Township, Ohio **Design/Specifying Engineer:** URS **Block Manufacturer:** Redi-Rock Structures of OKI **Wall Installer:** Nemann Construction **Location:** Cincinnati, Ohio **Completed:** 2011

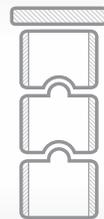
Your Complete Wall Solution—Each block in the Redi-Rock system is available in any texture and can coordinate in the same wall, giving you the flexibility you need.



Gravity Walls
(shown above)

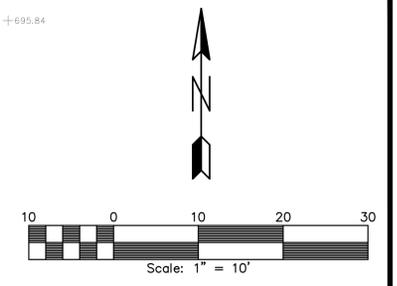
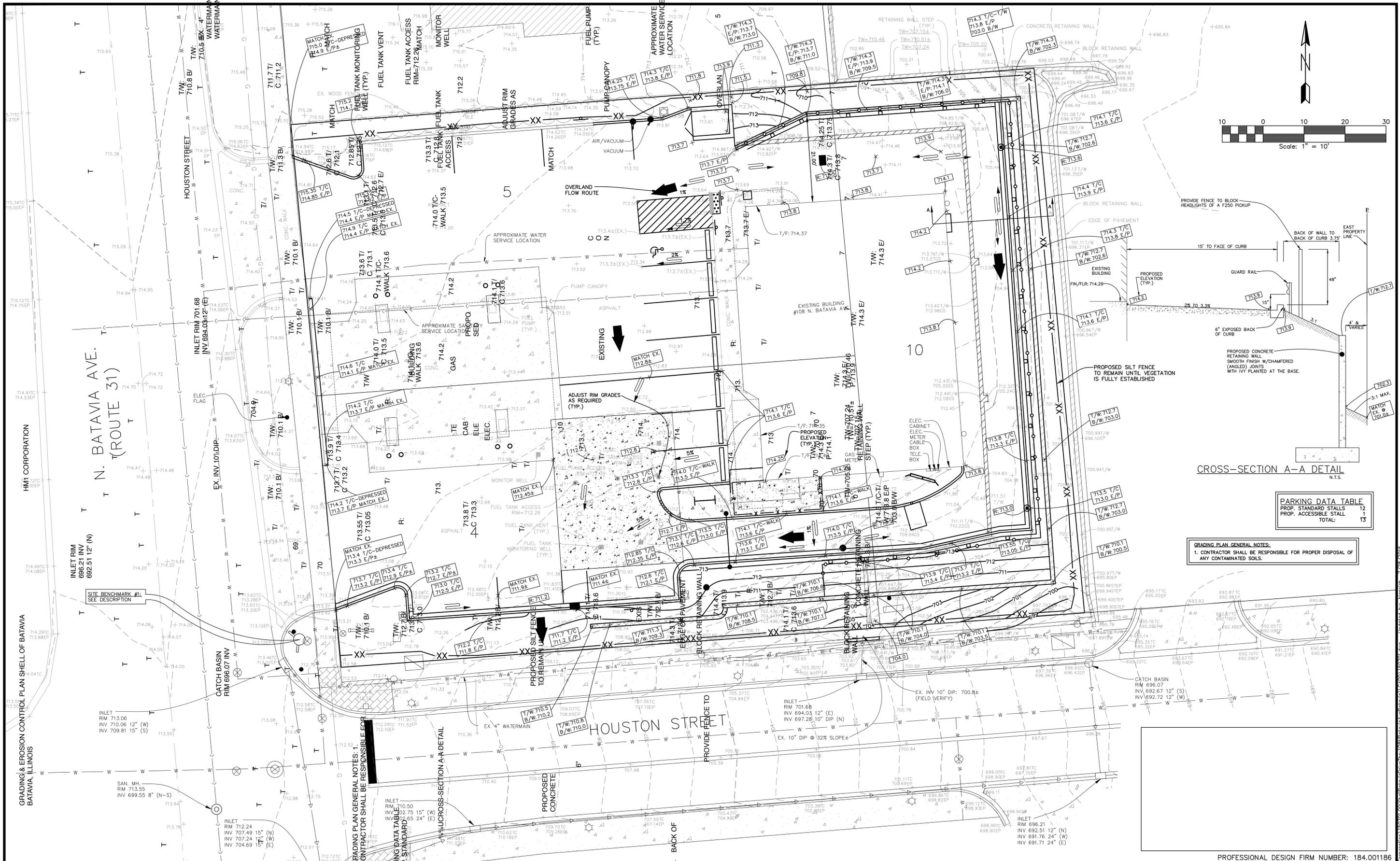


MSE Walls



Freestanding Walls

See redi-rock.com
for additional
products and
accessories.



CROSS-SECTION A-A DETAIL
N.T.S.

PARKING DATA TABLE	
PROP. STANDARD STALLS	12
PROP. ACCESSIBLE STALL	1
TOTAL:	13

GRADING PLAN GENERAL NOTES:
1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF ANY CONTAMINATED SOILS.

REVISIONS:	
DATE	DESCRIPTION
07/11/16	B.L. PER CITY COMMENTS
07/27/16	B.L. PER CITY COMMENTS

DRAWN BY: BL
CHECKED BY: MH
APPROVED BY: JG

ENGINEERING RESOURCE ASSOCIATES, INC.
CONSULTING ENGINEERS, ARCHITECTS & SURVEYORS

35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60555
PHONE (630) 393-3060
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

HM1 CORPORATION

TITLE: **GRADING & EROSION CONTROL PLAN**
SHELL OF BATAVIA
BATAVIA, ILLINOIS

SCALE: 1"=10'
DATE: 05/26/16
JOB NO: 150701
SHEET 4 OF 7

Updated By: Biebrich 7/28/2016